

Welcome To

1003 Weldin Circle
Weldin Woods



Welcome to this six-bedroom, three-and-a-half-bath brick colonial in the heart of North Wilmington. This home has a traditional floor plan with hardwood floors throughout. From the moment you step inside, the freshly painted entry, living, dining, and kitchen areas offer a warm and inviting atmosphere. The oversized formal living and dining rooms flank the entrance, providing a perfect setting for hosting gatherings with family and friends. Both rooms have ample windows allowing abundant natural light to fill the spaces. The adjacent, cozy family room with a wood stove insert and brick accent wall opens to a three-season room with three walls of windows. This flex space can be an office, yoga retreat, or a peaceful spot for reading or morning coffee. The heart of this home is undoubtedly the eat-in kitchen, which features wrap-around cabinets and counter space, making meal preparation a breeze. The laundry and half bath are conveniently located on the way to the rear attached garage. The sixth bedroom/in-law suite with an attached full bath completes the main floor. Upstairs, the primary suite is a true retreat, boasting two large closets, a nursery/office, a separate built-in vanity, and a private bathroom. Four additional generously sized bedrooms share a well-appointed hall bath. Beyond the size and conveniences of the home itself, its location is simply unbeatable. The North Wilmington location offers easy access to major commuter routes. Nearby attractions, such as the Can-Do playground, Alapocas Run State Park, Bellevue State Park, Rockwood Park & Museum, and the Brandywine Zoo, ensure that there's always something exciting to explore. Nemours Children's Hospital is also nearby. Don't miss your opportunity to make this remarkable house your forever home. Notable features: Fresh paint throughout, HEPA Filter attached to the A/C unit, large basement with sump pump, and plenty of built-in storage shelves and closets.



 **Team Landon**
Patterson-Schwartz Real Estate

Patterson-Schwartz Real Estate
Melissa Goode Spencer
Team Landon
302-256-1552 direct
302-733-7000 office
mspencer@psre.com



This information is provided as a courtesy only, it is not a warranty and should be independently investigated by buyers.



1003 Weldin Circle, Wilmington, DE, 19803

Coming Soon **\$615,000**



MLS #: DENC2067532
 Type: Residential
 Struct Type: Detached
 Style: Colonial
 Lvl/Story: 2
 Ownership: Fee Simple
 Garage: Yes
 OpenHouse: Sun, Sep 8, 1:00PM-4:00PM

Beds: 6
 Baths: 3 / 1
 YearBuilt: 1972 / Estimated
 NewConstr: No
 Basement: Yes
 Central Air: Yes

LOCATION

County: NEW CASTLE School District: Brandywine
 MLS Area: Brandywine (30901) High School: Brandywine
 Subdiv/Neigh: Weldin Woods Middle School: Springer
 In City Limits: N Elementary School: Lombardy

ASSOCIATION / COMMUNITY INFO

Senior Community: No HOA: No Condo/Coop: No

TAXES AND ASSESSMENT

Tax ID#: 06-112.00-1339 Tax Annual/Year: \$6,300 / 2023 Tax Assessment: \$178,100

ROOMS

				BED	BATH
Living Room:	Main	19 x 15	Crown Molding, Flooring - HardWood	Main: 1	1 full 1 part
Kitchen:	Main	17 x 19	Flooring - Tile/Brick, Kitchen - Eat-in, Pantry	Upper 1: 5	2 full
Dining Room:	Main	18 x 13	Crown Molding, Flooring - HardWood		
Family Room:	Main	20 x 13	Fireplace - Wood Burning, Flooring - HardWood, Wood Stove		
Laundry:	Main	9 x 8	Flooring - Tile/Brick		
Primary Bedroom:	Upper 1	21 x 18	Flooring - HardWood		
Bedroom 2:	Upper 1	21 x 10	Flooring - HardWood		
Bedroom 3:	Upper 1	16 x 14	Flooring - HardWood		
Bedroom 4:	Upper 1	17 x 15	Flooring - HardWood		
Bedroom 5:	Upper 1	14 x 11	Flooring - HardWood		
Bedroom 6:	Main	13 x 11	Attached Bathroom, Flooring - HardWood		
Recreation Room:	Lower 1	28 x 23			

BUILDING INFORMATION

AboveGrFinSF: 3,475 / Assessor BelowGrFinSF: 644 / Estimated BelowGrFinSF: 644 / Estimated Total Finished SF: 4,119 / Total SF: 4,119 / Foundation: Block, Crawl Space Basement: Crawl Space, Partially Finished Constr Materials: Brick, Vinyl Siding Flooring Type: Hardwood, Slate, Tile/Brick

LOT AND PARKING

Lot Acres/SQFT: 0.38a / 16,553sf / Estimated Zoning: NC15 Federal Flood Zone: No Parking: Attached Garage, Driveway | Paved Parking | Garage - Front Entry, Garage Door Opener | Attached Garage Spaces: 2 | Driveway Spaces: 2

INTERIOR FEATURES

Crown Moldings, Formal/Separate Dining Room, Kitchen - Eat-In, Pantry, Stove - Wood, Wood Floors | Fireplace(s): 1, Brick, Insert, Wood | Cooktop, Dishwasher, Dryer, Oven - Double, Oven - Wall, Oven/Range - Gas, Water Heater | Laundry: Main Floor | Accessibility Features: None

EXTERIOR FEATURES

Exterior Lighting

UTILITIES

Cooling: Central A/C, Electric | *Heating:* Forced Air, Natural Gas | *Electric:* 200+ Amp Service, Circuit Breakers | *Hot Water:* Natural Gas | *Water Source:* Public | *Sewer:* Public Sewer

REMARKS

Expected On Market Date: September 5, 2024

Public: Welcome to this six-bedroom, three-and-a-half-bath brick colonial in the heart of North Wilmington. This home has a traditional floor plan with hardwood floors throughout. From the moment you step inside, the freshly painted entry, living, dining, and kitchen areas offer a warm and inviting atmosphere. The oversized formal living and dining rooms flank the entrance, providing a perfect setting for hosting gatherings with family and friends. Both rooms have ample windows allowing abundant natural light to fill the spaces. The adjacent, cozy family room with a wood stove insert and brick accent wall opens to a three-season room with three walls of windows. This flex space can be an office, yoga retreat, or a peaceful spot for reading or morning coffee. The heart of this home is undoubtedly the eat-in kitchen, which features wrap-around cabinets and counter space, making meal preparation a breeze. The laundry and half bath are conveniently located on the way to the rear attached garage. The sixth bedroom/in-law suite with an attached full bath completes the main floor. Upstairs, the primary suite is a true retreat, boasting two large closets, a nursery/office, a separate built-in vanity, and a private bathroom. Four additional generously sized bedrooms share a well-appointed hall bath. Beyond the size and conveniences of the home itself, its location is simply unbeatable. The North Wilmington location offers easy access to major commuter routes. Nearby attractions, such as the Can-Do playground, Alapocas Run State Park, Bellevue State Park, Rockwood Park & Museum, and the Brandywine Zoo, ensure that there's always something exciting to explore. Nemours Children's Hospital is also nearby. Don't miss your opportunity to make this remarkable house your forever home. Notable features: Fresh paint throughout, HEPA Filter attached to the A/C unit, large basement with sump pump, and plenty of built-in storage shelves and closets.

Exclusions: Standing lamps, Egg Grill, Desk lamps in living room



For More Information Contact:

Melissa Goode Spencer

Team Landon

Office: 302-733-7000

www.teamlandon.com

Cell: 302-256-1552

e-mail: mspencer@psre.com

Information set forth is deemed reliable, but there is no guarantee as to its accuracy and no warranties are made.

Printed on 9/4/2024 by Melissa Goode Spencer

*An offer of broker compensation or seller concession is not a guarantee. All compensation offers and concessions are negotiable and subject to written agreement between the parties. Please consult with your real estate agent for more information.



1003 Weldin Circle



Front Porch



Foyer



Living Room



Living Room



Kitchen

Information set forth is deemed reliable, but there is no guarantee as to its accuracy and no warranties are made.

Printed on 9/4/2024 by Melissa Goode Spencer

*An offer of broker compensation or seller concession is not a guarantee. All compensation offers and concessions are negotiable and subject to written agreement between the parties. Please consult with your real estate agent for more information.



Kitchen



Dining Room



Family Room



Main Level Bedroom



Full Bath on Main Level



3 Season Room

Information set forth is deemed reliable, but there is no guarantee as to its accuracy and no warranties are made.

Printed on 9/4/2024 by Melissa Goode Spencer

*An offer of broker compensation or seller concession is not a guarantee. All compensation offers and concessions are negotiable and subject to written agreement between the parties. Please consult with your real estate agent for more information.



3 Season Room



Powder Room



Laundry



Primary Bedroom



Office or Closet in Primary Bedroom



Bedroom

Information set forth is deemed reliable, but there is no guarantee as to its accuracy and no warranties are made.

Printed on 9/4/2024 by Melissa Goode Spencer

*An offer of broker compensation or seller concession is not a guarantee. All compensation offers and concessions are negotiable and subject to written agreement between the parties. Please consult with your real estate agent for more information.



Bedroom



Bedroom



Bedroom



Full Bath



Sun Room Addition



Basement

Information set forth is deemed reliable, but there is no guarantee as to its accuracy and no warranties are made.

Printed on 9/4/2024 by Melissa Goode Spencer

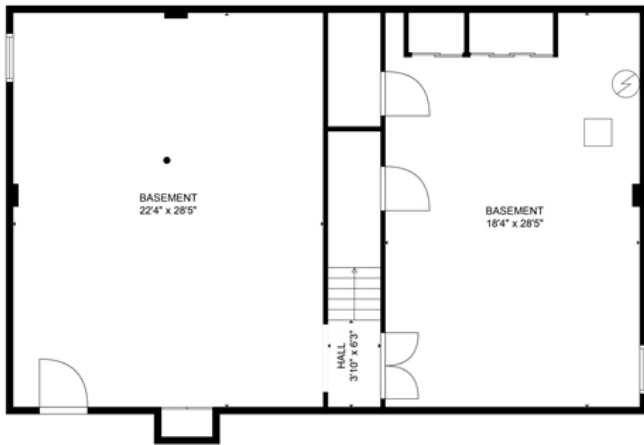
*An offer of broker compensation or seller concession is not a guarantee. All compensation offers and concessions are negotiable and subject to written agreement between the parties. Please consult with your real estate agent for more information.



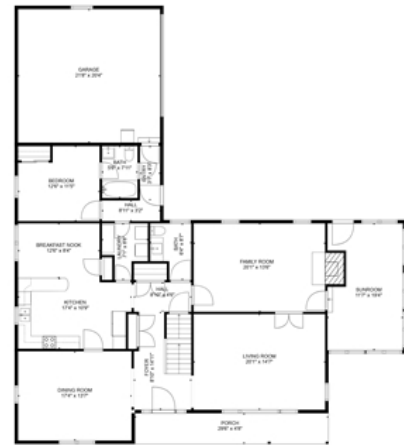
Rear of home



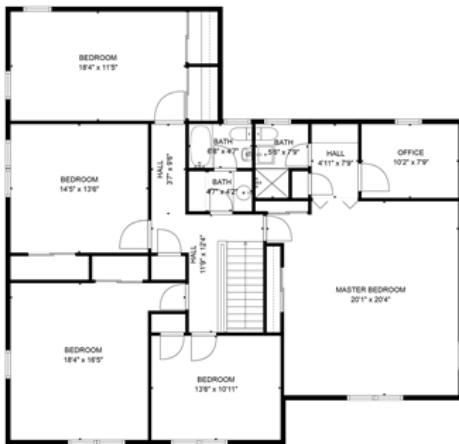
Yard



TOTAL: 4398 sq. ft.
Below Ground: 773 sq. ft., FLOOR 2: 1902 sq. ft., FLOOR 3: 1723 sq. ft.
EXCLUDED AREAS: BASEMENT: 489 sq. ft., UNDEFINED: 31 sq. ft., GARAGE: 442 sq. ft., PORCH: 138 sq. ft.
FLOOR PLAN CREATED BY CURSORA AND MEASUREMENTS DEEMED HIGHLY RELIABLE BUT NOT GUARANTEED.



TOTAL: 4398 sq. ft.
Below Ground: 773 sq. ft., FLOOR 2: 1902 sq. ft., FLOOR 3: 1723 sq. ft.
EXCLUDED AREAS: BASEMENT: 489 sq. ft., UNDEFINED: 31 sq. ft., GARAGE: 442 sq. ft., PORCH: 138 sq. ft.
FLOOR PLAN CREATED BY CURSORA AND MEASUREMENTS DEEMED HIGHLY RELIABLE BUT NOT GUARANTEED.



TOTAL: 4398 sq. ft.
Below Ground: 773 sq. ft., FLOOR 2: 1902 sq. ft., FLOOR 3: 1723 sq. ft.
EXCLUDED AREAS: BASEMENT: 489 sq. ft., UNDEFINED: 31 sq. ft., GARAGE: 442 sq. ft., PORCH: 138 sq. ft.
FLOOR PLAN CREATED BY CURSORA AND MEASUREMENTS DEEMED HIGHLY RELIABLE BUT NOT GUARANTEED.

Information set forth is deemed reliable, but there is no guarantee as to its accuracy and no warranties are made.

Printed on 9/4/2024 by Melissa Goode Spencer

*An offer of broker compensation or seller concession is not a guarantee. All compensation offers and concessions are negotiable and subject to written agreement between the parties. Please consult with your real estate agent for more information.



**SELLER'S DISCLOSURE OF REAL PROPERTY
CONDITION REPORT
State of Delaware**

Approved by the Delaware Real Estate Commission (Effective Date: July 1, 2023)

Seller(s) Name: Marc and Mavis Woolley 1003 Weldin Circle Wilmington, DE 19803

Property Address: Approximate Age of Building(s): 52 years **Date**

Purchased: Built to own 1972

Chapter 25, Title 6 of the Delaware Code, requires a Seller of residential property to disclose in writing all material defects of the property that are known at the time the property is offered for sale or that are known prior to the time of final settlement. Residential property means any interest in a property or manufactured housing lot, improved by dwelling units for 1-4 families. The disclosure must be made on this Report, which has been approved by the Delaware Real Estate Commission and shall be updated as necessary for any material changes occurring in the property before final settlement. This Report shall be given to all prospective Buyers prior to the time the Buyer makes an offer to purchase. This Report, signed by Buyer and Seller, shall become a part of the Agreement of Sale. This Report is a good faith effort by the Seller to make the disclosures required by Delaware law and is not a warranty of any kind by the Seller or any Agents or Sub-Agents representing Seller or Buyer in the transfer and is not a substitute for any inspections or warranties that the Seller or Buyer may wish to obtain. The Buyer has no cause of action against the Seller or Real Estate Agent for material defects in the property disclosed to the Buyer prior to the Buyer making an offer; material defects developed after the offer was made but disclosed in an update of this Report prior to settlement, provided Seller has complied with the Agreement of Sale; or material defects which occur after settlement. Government websites containing helpful information include: Office of State Planning Coordination <https://www.stateplanning.delaware.gov/>, Delaware Department of Natural Resources and Environmental Control <https://dnrec.alpha.delaware.gov/>, Delaware Division of Public Health www.dhss.delaware.gov/dhss/dph, Delaware State Police Sex Offender Registry www.sexoffender.dsp.delaware.gov, Federal Community Flood Maps <https://msc.fema.gov/portal/home>, and other agencies listed on www.delaware.gov.

Seller shall answer the following questions based on Seller's knowledge of the property.

Yes	No	*	* Write in <i>U</i> if Unknown or <i>NA</i> if Not Applicable, otherwise mark either the Yes or No column. Where selections are requested, place a check mark next to each correct answer or fill in the correct answer. Certain answers require a further explanation in Section XVI. Seller shall answer the following questions based on Seller's knowledge of the property.
			I. OCCUPANCY
<input type="checkbox"/>	<input checked="" type="checkbox"/>		1. How do you currently use this property? As a: (<input checked="" type="checkbox"/> Primary Residence) (<input type="checkbox"/> Second/Vacation Home) (<input type="checkbox"/> Rental Property) (<input type="checkbox"/> Inherited Property) (<input type="checkbox"/> Other: _____). If not your Primary Residence, how long has it been since you occupied the property? _____ approximately 2 months _____.
<input type="checkbox"/>	<input checked="" type="checkbox"/>		2. Is the property encumbered by a (<input type="checkbox"/> rental/lease), (<input type="checkbox"/> option to purchase), or (<input type="checkbox"/> first right of refusal)? If yes, describe in XVI. Seller agrees to provide a copy of the rental/lease agreement to Buyer upon request.
<input type="checkbox"/>	<input type="checkbox"/>	N A	3. If the property is a rental/lease, have all necessary permits and/or licenses been obtained?
<input type="checkbox"/>	<input type="checkbox"/>	N A	4. If the property is a rental/lease, is the property subject to a rental/lease management agreement?
<input type="checkbox"/>	<input type="checkbox"/>	N A	5. If #4 is yes, is the agreement binding upon the purchaser? If yes, describe in XVI. Seller agrees to provide a copy of the management agreement to Buyer upon request.

<input checked="" type="checkbox"/>	X		6. Is the property new construction?
<input type="checkbox"/>	<input type="checkbox"/>	NA	7. If #6 is yes, has a certificate of occupancy been issued? If yes, when? _____. If no, STOP USING THIS FORM and complete the Seller's Disclosure of Real Property Condition Report New Construction Only .

Page 1 of 9 Property Address: _____ 1003 Weldin Circle Wilmington, DE

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Seller's Initials Mark MAW Seller's Initials MLW MLW Buyer's Initials _____ Buyer's Initials _____
 Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials _____

Yes	No	*	* Write in <i>U</i> if Unknown or <i>NA</i> if Not Applicable, otherwise mark either the Yes or No column. Where selections are requested, place a check mark next to each correct answer or fill in the correct answer. Certain answers require a further explanation in Section XVI. Seller shall answer the following questions based on Seller's knowledge of the property.
		NA	8. If #6 is yes, Seller warrants that the property (___ is) or (___ is not) exempt from providing the Buyer with a <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Public Offering Statement as described in §81-401 or §81-403(b) of Chapter 81, Title 25 of the Delaware Code, The Delaware Uniform Common Interest Ownership Act. If exempt from providing the Public Offering Statement or Resale Certificate, in compliance with §317A of Chapter 3, Title 25, Seller has attached a copy of all documents in the chain of title that create any financial obligation for the buyer, and a written summary of all financial obligations created by documents in the chain of title. As evidenced by signature below, Buyer has received a copy of these documents.
			II. DEED RESTRICTIONS, HOMEOWNERS ASSOCIATIONS / CONDOMINIUMS AND CO-OPS
<input checked="" type="checkbox"/>	X		9. Is the property subject to any deed restrictions? (e.g., rental restrictions, pet restrictions, fence requirements, etc.) If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		10. Are you in violation of any deed restrictions at this time? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		11. Is the property subject to any agreements concerning affordable housing or workforce/inclusionary housing? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		12. Is the property subject to any private, public, or historic architectural review control other than building codes? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		13. Is the property part of a condominium or cooperative (Co-op) ownership?
<input checked="" type="checkbox"/>	X		14. Is there a (___ Homeowners Association), (___ Condominium Association), (___ Cooperative (Co-op)), <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> (___ Civic Association), or (___ Maintenance Corporation)? <input type="checkbox"/> <input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	NA	15. If #14 is yes, are there any (___ Fees), (___ Dues), or (___ Assessments) involved? <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> If yes, how much? _____; Frequency of payments: (___ Monthly), (___ Quarterly), (___ Yearly), <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> (___ Other: <input type="checkbox"/> _____); Are they (___ Mandatory) or (___ Voluntary)? <input type="checkbox"/> <input type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	NA	16. Is there a capital contribution fee due by a new owner to the Association? If yes, how much _____?

<input checked="" type="checkbox"/>	X		17. Are there any unpaid assessments including but not limited to deferred water and sewer charges for your property? If yes, how much? _____. If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		18. Has there been a special assessment in the past 12 months? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		19. Have you received written notice of any new, proposed, or board discussed increases in fees, dues, assessments, or capital contributions? If yes, describe in XVI.
		N A	20. Management Company Name: _____
		N A	21. Representative Name: _____ Phone # _____
		N A	22. Representative E-mail Address: _____
III. TITLE / ZONING INFORMATION			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N A	23. Does the amount owed on your mortgage(s) and any other lien(s) exceed the estimated value of the property? If yes, are additional funds available from Seller for settlement? _____
<input checked="" type="checkbox"/>		N	24. Is your property owned (___ In fee simple) or (___ Leasehold/Ground Lease) or (___ Cooperative)? <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
		N A	25. If a Leasehold/Ground Lease, what is the current lease amount? \$ _____; Frequency of payments: (___ Weekly), (___ Monthly), (___ Quarterly), (___ Yearly), (___ Other: _____) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Note to Buyer: May be subject to change.
		N A	26. If a Leasehold/Ground Lease, when does it expire? _____
<input checked="" type="checkbox"/>		U	27. Are there any rights-of-way, easements, or similar matters that affect the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		28. Are there any shared maintenance agreements affecting the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		29. Are there any variance, zoning, conditional use, non-conforming use, or setback violations? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N A	30. If #29 is yes, has the variance, conditional use, or non-conforming use expired or has otherwise become non-transferable? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		31. Is your property currently covered by a title insurance policy?
<input checked="" type="checkbox"/>	X		32. Did you participate in any mortgage/closing cost assistance program that must be paid back at the time of the transfer of the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		33. Did you participate in any mortgage forbearance programs such as the CARES Act from COVID-19? If yes, describe in XVI.



Seller's Initials MAW Seller's Initials MLW Buyer's Initials _____ Buyer's Initials _____
 Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials _____

Yes	No	*	* Write in <i>U</i> if Unknown or <i>NA</i> if Not Applicable, otherwise mark either the Yes or No column. Where selections are requested, place a check mark next to each correct answer or fill in the correct answer. Certain answers require a further explanation in Section XVI. Seller shall answer the following questions based on Seller's knowledge of the property.
IV. ADDITIONAL INFORMATION			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		34. Have you received notice from any local, state, or federal agency requiring repairs, alterations, or corrections of any existing conditions? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		35. Is there any existing legal action affecting this property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		36. Are there any violations of local, state or federal laws or regulations relating to this property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		37. Does your current real estate tax amount reflect any non-transferrable exemptions or discounts? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		38. Have you received formal notice of any changes that may materially or adversely affect the property? e.g., zoning changes, road changes, proposed utility changes, etc. If yes to any, describe in XVI.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		39. Are all the exterior door locks in the house in working condition? If no, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		40. Will keys be provided for each lock?
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		41. During your ownership, are there now or have there been animals (pets) living in the house? If yes, what type? <u>Dogs</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		42. Is there now or has there ever been a (<input type="checkbox"/> Swimming pool), (<input type="checkbox"/> Hot tub), (<input type="checkbox"/> Spa), or (<input type="checkbox"/> Whirlpool) on the <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> property? If yes and there are any defects, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	NA	43. If there is a pool, does it conform to all local ordinances? If no, describe in XVI.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		44. What is the type of trash disposal? (<input checked="" type="checkbox"/> Private), (<input type="checkbox"/> Municipal), (<input type="checkbox"/> County), (<input type="checkbox"/> Community) or <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Other _____).
<input type="checkbox"/>	<input type="checkbox"/>	U	45. The cost of repairing and repaving the streets adjacent to the property is paid for by: <input type="checkbox"/> The property owner(s), estimated fees: \$ _____ <input type="checkbox"/> Delaware Department of Transportation or the State of Delaware <input type="checkbox"/> Municipal <input type="checkbox"/> Community/HOA <input checked="" type="checkbox"/> Other <input checked="" type="checkbox"/> Unknown Note to Buyer: Repairing and repaving of the streets can be very costly. (6 Delaware Code § 2578) Note to Buyer: Please check HOA/local requirements concerning responsibility for sidewalk installation, replacement, repair, and snow removal.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		46. Is off street parking available for this property? If yes, number of spaces available: _____
V. ENVIRONMENTAL CONCERNS			

<input checked="" type="checkbox"/>			47. Are there now or have there been any underground storage tanks on the property? (___ Heating fuel), <input checked="" type="checkbox"/> (X Propane), (___ Septic), or (___ Other: _____). <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> If yes, describe locations in XVI.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		48. If the tank was abandoned, was it done with all necessary permits and properly abandoned?
<input type="checkbox"/>		U	49. Are asbestos-containing materials present? If yes, describe in XVI.
<input type="checkbox"/>		U	50. Are there any lead hazards? (e.g., lead paint, lead pipes, lead in soil.) If yes, describe in XVI.
			51. Has the property been tested for toxic or hazardous substances? If yes, describe in XVI and provide the test results.
	X		52. Has the property ever been tested for mold? If yes, provide the test results.
<input type="checkbox"/>	X		53. Has the illegal manufacture, storage, or use of methamphetamines occurred in the property? If yes, describe in XVI.
<input type="checkbox"/>	X		54. Is there a wastewater spray irrigation system (human or agricultural) installed on or adjacent to the property?
VI. LAND (SOILS, DRAINAGE, AND BOUNDARIES)			
<input type="checkbox"/>	X		55. Is there fill soil or other fill material on the property?
<input type="checkbox"/>		U	56. Are there sliding, settling, earth movement, upheaval, earth stability, or methane gas release problems that have occurred on the property or in the immediate neighborhood? If yes, describe in XVI.
<input type="checkbox"/>	X		57. Is any part of the property located in (___ a flood zone) and/or (___ a wetlands area)? <input type="checkbox"/> <input type="checkbox"/>
<input type="checkbox"/>	X		58. Are there drainage or flood problems affecting the property? If yes, describe in XVI.
<input type="checkbox"/>	X		59. Do you carry flood insurance? Agent: _____ Policy # _____
		N A	60. If #59 is yes, what is the annual cost of this policy? _____
<input type="checkbox"/>	<input type="checkbox"/>		Note to Buyer: Public and/or private flood insurance options exist for most properties regardless if property is located in a flood zone. Inquire about options with a qualified insurance agent.

Page 3 of 9 Property Address: ___ 1003 Weldin Circle

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Seller's Initials MAW ^{MAW} Seller's Initials MLW ^{MLW} Buyer's Initials _____ Buyer's Initials _____
 Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials _____

Yes	No	*	* Write in U if Unknown or NA if Not Applicable, otherwise mark either the Yes or No column. Where selections are requested, place a check mark next to each correct answer or fill in the correct answer. Certain answers require a further explanation in Section XVI. Seller shall answer the following questions based on Seller's knowledge of the property.
-----	----	---	--

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		61. Have you made any insurance claims on the property in the past 5 years? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		62. Does the property have standing water in front, rear, or side yards for more than 48 hours after raining? If yes, describe in XVI.
<input checked="" type="checkbox"/>		U	63. Are there encroachments or boundary line disputes affecting the property? If yes, describe in XVI?
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		64. Are there any ditches crossing or bordering the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		65. Are there any swales crossing the property that are under the control of a Soil and Conservation District? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		66. Have you ever had the property surveyed?
<input checked="" type="checkbox"/>		U	67. Are the boundaries of the property marked in any way? If yes, describe in XVI.
VII. STRUCTURAL ITEMS			
<input checked="" type="checkbox"/>			68. Have you made any additions or structural changes? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		69. If #68 is yes, was all work done with all necessary permits and approvals in compliance with building codes?
	<input checked="" type="checkbox"/>	N A	70. If #69 is yes, are the permits closed?
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		71. Is there now or has there ever been any movement, shifting, or other problems with walls or foundations? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		72. Has the property, or any improvements thereon, ever been damaged by (___ Fire), (___ Smoke), (___ Wind), or <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> (___ Flood)? <input type="checkbox"/> If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		73. Was the structure moved to this site? (___ Double Wide), (___ Modular), (___ Other: _____) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
<input checked="" type="checkbox"/>			74. Is there now or has there ever been any non-plumbing water leakage in the house? If yes, describe in XVI.
<input checked="" type="checkbox"/>			75. Are there any problems with (___ Exterior walls), (<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Driveways), (___ Walkways), (___ Patios), <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> (___ Decks), (___ Porches) or (___ Retaining walls) on the property? <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		76. Are there any problems with (___ Interior walls), (___ Ceilings), (<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Floors), or (<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Windows) on the <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> property? If yes, describe in XVI.
<input checked="" type="checkbox"/>			77. Have there been any repairs or other attempts to control the cause or effect of problems described in questions 74, 75, and 76? If yes, describe in XVI.
<input checked="" type="checkbox"/>			78. Is there insulation in the: (<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Ceiling/attic), (<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Exterior walls), (___ Crawlspace/basement), or <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (___ Other: _____) <input type="checkbox"/> What type(s) of insulation does your property have? ___ Fiberglass _____
VIII. TERMITES, INSECTS, AND WILDLIFE			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		79. Is there now or has there ever been any infestation by termites or other wood destroying insects? If yes, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		80. During your ownership, have there been any termite or other wood destroying insect inspections made on the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>		U	81. Is there now or has there ever been any damage to the property caused by (___ Termites), <input type="checkbox"/> (___ Other wood destroying insects), or (___ Wildlife)? <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> If yes, describe

			in XVI.
X	<input checked="" type="checkbox"/>		82. Have there ever been any termite or wood destroying insect treatments made on the property? If yes, describe in XVI.
<input type="checkbox"/>	X		83. Is there or has there ever been an infestation of insects? If yes, describe in XVI.
X	<input checked="" type="checkbox"/>		84. During your ownership, have there been any insect control inspections made on the property. If yes, describe in XVI.
X	<input checked="" type="checkbox"/>		85. Are you aware of any insect control treatments made on the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		86. Are there now or have there ever been any bat colonies present on the property? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		87. Is your property currently under warranty, or other coverage, by a professional pest control company? If yes, name of exterminating company: _____
IX. BASEMENT AND CRAWL SPACES			
X	<input checked="" type="checkbox"/>		88. Does the property have a sump pump? If yes, where does it drain? Sewer
X	<input checked="" type="checkbox"/>		89. Is there now or has there ever been any water leakage, accumulation, or dampness within the basement, crawlspace, or other interior areas of the structure? If yes, describe in XVI.
X	<input checked="" type="checkbox"/>		90. Have there been any repairs or other attempts to control any water or dampness problem in the basement, crawlspace, or other interior areas of the structure? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		91. Are there any cracks or bulges in the floors or foundation walls? If yes, describe in XVI.

Page 4 of 9 Property Address: 1003 Weldin Circle

<div style="border: 1px solid black; width: 50%; margin: auto; height: 50%;"></div>	<div style="border: 1px solid black; width: 50%; margin: auto; height: 50%;"></div>	<div style="border: 1px solid black; width: 50%; margin: auto; height: 50%;"></div>	<div style="border: 1px solid black; width: 50%; margin: auto; height: 50%;"></div>
---	---	---	---

Seller's Initials MAW Seller's Initials MLW Buyer's Initials _____ Buyer's Initials _____
 _____ Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials

Yes	No	*	* Write in <i>U</i> if Unknown or <i>NA</i> if Not Applicable, otherwise mark either the Yes or No column. Where selections are requested, place a check mark next to each correct answer or fill in the correct answer. Certain answers require a further explanation in Section XVI. Seller shall answer the following questions based on Seller's knowledge of the property.
			X. ROOF
			92. Date last roof surface installed: <u>4-5 years ago</u> . If all roof surfaces not the same age, explain in XVI.
			93. How many layers of roof material are there (e.g., new shingles over old shingles)? <u>1</u>
<input checked="" type="checkbox"/>	X		94. Are there any problems with the roof, flashing, rain gutters, or skylights? If yes or repaired under

			your ownership, explain in XVI.
<input checked="" type="checkbox"/>	X		95. If under warranty, is warranty transferable?
			96. Where do your gutters drain? (<input checked="" type="checkbox"/> Surface), (<input type="checkbox"/> Drywell), (<input type="checkbox"/> Storm Sewers), (<input type="checkbox"/> Other: _____) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
XI. PLUMBING-RELATED ITEMS			
			97. What is the drinking water source? (<input type="checkbox"/> Municipal), (<input type="checkbox"/> County), (<input checked="" type="checkbox"/> Public Utility), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Private Well), (<input type="checkbox"/> Other: <input type="checkbox"/> <input type="checkbox"/> _____)
			98. If drinking water is supplied by public utility, name of utility: _____ City of Wilmington _____
<input type="checkbox"/>	X		99. Is there a water treatment system? If yes, (<input type="checkbox"/> Leased) or (<input type="checkbox"/> Owned)? <input type="checkbox"/> <input type="checkbox"/>
		N A	100. If water source is a well, when was it installed? _____ Location of well? _____ Depth of well? _____. If more than one well, describe in XVI.
			101. What type of plumbing is used for the Water Supply? (<input checked="" type="checkbox"/> Copper), (<input type="checkbox"/> Lead), (<input type="checkbox"/> Cast Iron), (<input type="checkbox"/> PVC), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> PEX), (<input type="checkbox"/> Polybutylene), (<input type="checkbox"/> Galvanized), (<input type="checkbox"/> Other/Unknown: _____) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
			102. What type of plumbing is used for Drainage? (<input type="checkbox"/> Copper), (<input type="checkbox"/> Lead), (<input checked="" type="checkbox"/> Cast Iron), (<input checked="" type="checkbox"/> PVC), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Galvanized), (<input type="checkbox"/> Other/Unknown: <input type="checkbox"/> <input type="checkbox"/> _____)
			103. Age of Water Heater? _____ 3 years _____ Water heater type: (<input checked="" type="checkbox"/> Tank), (<input type="checkbox"/> Tankless), (<input type="checkbox"/> Other: <input type="checkbox"/> <input type="checkbox"/> _____)
			104. Water Heater Fuel: (<input type="checkbox"/> Electric), (<input type="checkbox"/> Oil), (<input type="checkbox"/> Propane Gas), (<input checked="" type="checkbox"/> Natural Gas) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> or (<input type="checkbox"/> Other: <input type="checkbox"/> _____)
		U	105. Are there now or have there ever been any leaks, backups, or other problems relating to any of the plumbing, water, and sewage related items? If yes, describe in XVI. 106. Are there any additions and/or upgrades to the original service? If yes, describe in XVI.
			107. If #106 is yes, was the work done by a licensed contractor?
			108. If #106 is yes, were the required permits obtained?
		<input checked="" type="checkbox"/>	109. If #108 is yes, are the permits closed?
		N A	110. If your drinking water is from a well, when was your water last tested and what were the results of the test? Tested on: _____ Results: _____
			111. What is the type of sewage system? (<input checked="" type="checkbox"/> Public Sewer), (<input type="checkbox"/> Community Sewer), (<input type="checkbox"/> Septic System), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Cesspool), (<input type="checkbox"/> Other _____) <input type="checkbox"/> <input type="checkbox"/>
		N A	112. If a septic system, type: (<input type="checkbox"/> Gravity Fed), (<input type="checkbox"/> Capping Fill), (<input type="checkbox"/> LPP), (<input type="checkbox"/> Mound), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Holding Tank), (<input type="checkbox"/> Other: _____) <input type="checkbox"/> <input type="checkbox"/>
		N A	113. If a septic system, when was it last pumped? _____
		N	114. If a septic system, has it been inspected by a Class H inspector within the last 36 months, as required

		A	by DNREC regulations? If yes, describe in XVI and provide the test results.
		N A	115. If a septic system, how many bedrooms is the septic permitted to service? _____
<input checked="" type="checkbox"/>	X		116. Are there any shut off, disconnected, or abandoned wells, underground water or sewer tanks on the property? If yes, describe locations in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N A	117. If #116 is yes, were they abandoned with all necessary permits and properly abandoned?
XII. HEATING AND AIR CONDITIONING			
			118. How many heating and/or air conditioning systems are on the property? <u> 1 </u> . If more than 2, explain in XVI.
			119. Type of heating system for system #1 (<input checked="" type="checkbox"/> Forced air), (<input type="checkbox"/> Heat pump), (<input type="checkbox"/> Mini-Split), (<input type="checkbox"/> Baseboard), (<input type="checkbox"/> Radiator), (<input type="checkbox"/> Other: _____) <input type="checkbox"/> <input type="checkbox"/> Type of heating system for system #2 (<input type="checkbox"/> Forced air), (<input type="checkbox"/> Heat pump), (<input type="checkbox"/> Mini-Split), (<input type="checkbox"/> Baseboard), (<input type="checkbox"/> Radiator), (<input type="checkbox"/> Other: _____) <input type="checkbox"/> <input type="checkbox"/>
			120. Type of heating fuel for system #1 (<input type="checkbox"/> Oil), (<input type="checkbox"/> Propane Gas), (<input checked="" type="checkbox"/> Natural Gas), (<input type="checkbox"/> Electric), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Solar), (<input type="checkbox"/> Other: _____) Type of heating fuel for system #2 (<input type="checkbox"/> Oil), (<input type="checkbox"/> Propane Gas), (<input type="checkbox"/> Natural Gas), (<input type="checkbox"/> Electric), (<input type="checkbox"/> Solar), (<input type="checkbox"/> Other: _____) <input type="checkbox"/> <input type="checkbox"/>

Page 5 of 9 Property Address: 1003 Weldin Circle

Seller's Initials MAW *MW* Seller's Initials MLW *MLW* Buyer's Initials _____ Buyer's Initials _____
 _____ Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials _____

Yes	No	*	* Write in U if Unknown or NA if Not Applicable, otherwise mark either the Yes or No column. Where selections are requested, place a check mark next to each correct answer or fill in the correct answer. Certain answers require a further explanation in Section XVI. Seller shall answer the following questions based on Seller's knowledge of the property.
			121. Fuel provider for: Heating system #1 <u> DelMarVa </u> Heating System #2: _____
			122. Age of furnace #1: <u> 8yrs </u> Date of last service: <u> August 2023 </u> Age of furnace #2: _____ Date of last service: _____
<input checked="" type="checkbox"/>	X		123. Are there any contractual obligations affecting the fuel supply, tanks, or system(s)? If yes, describe in XVI.
			124. Type of air conditioning for system #1 (<input checked="" type="checkbox"/> Central), (<input type="checkbox"/> Window Units), (<input type="checkbox"/> Mini-Split), <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (<input type="checkbox"/> Other: _____) Type of air conditioning for system #2 (<input type="checkbox"/> Central), (<input type="checkbox"/> Window Units), (<input type="checkbox"/> Mini-Split),

			<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> (___ Other: <input type="checkbox"/> _____)
<input checked="" type="checkbox"/>	X		125. Are there any contractual obligations affecting the heating/air conditioning system(s)? If yes, describe in XVI.
			126. Age of air conditioning system #1: _____ 16years _____ Date of last service: ___ August 2023 _____ Age of air conditioning system #2: _____ Date of last service: _____
X	<input checked="" type="checkbox"/>		127. Have there been any additions and/or upgrades to the original heating or air conditioning? If yes, describe in XVI.
X	<input checked="" type="checkbox"/>		128. If #127 is yes, was the work done by a licensed contractor?
	<input checked="" type="checkbox"/>	U	129. If #127 is yes, were the required permits obtained?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	U	130. If #129 is yes, are the permits closed?
<input checked="" type="checkbox"/>	X		131. Are there any problems with the heating or air conditioning systems? If yes, describe in XVI.
XIII. ELECTRICAL SYSTEM			
			132. Who is the electric provider for the property? __ DelMarVa _____
			133. What type of wiring is in the house? (copper, aluminum, other, etc.) __ Aluminum _____
		U	134. What is the amp service? (___ 60), (___ 100), (___ 150), (___ 200), (___ Other: <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> _____)
			135. Does the property have (___ X_ Circuit Breakers) or (___ Fuses)? If more than one electrical panel, describe in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	U	136. Are there any 220/240 volt circuits? (Other: _____)
<input checked="" type="checkbox"/>	X		137. Do fuses blow or circuit breakers trip when two or more appliances are being used at the same time? If yes, describe in XVI.
<input checked="" type="checkbox"/>	X		138. Are there wall switches, light fixtures, or electrical outlets in need of repair? If yes, explain in XVI.
<input checked="" type="checkbox"/>	X		139. Is there a permanently affixed generator on the property? What is the fuel source? _____
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	U	140. Have there been any additions to the original service?
<input checked="" type="checkbox"/>	X		141. Have any (___ solar) and/or (___ wind powered) enhancements been made to supplement service? If yes, describe in XVI. Name of solar company? _____; If leased, what is the term? _____ Note to Buyer: Transfer of lease is subject to approval by: _____. Buyer must register with the Public Service Commission.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N A	142. If #139, #140, or #141 is yes, was work done by a licensed electrician?
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N A	143. If #139, #140, or #141 is yes, were the required permits obtained?
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	N A	144. If #143 is yes, is the permit closed?
XIV. FIREPLACE OR HEATING STOVE			

			145. How many fireplaces and/or heating stoves are on the property? <u> 1 </u> . If more than 2, explain in XVI.
			146. Type of fuel for fireplace 1: (<input checked="" type="checkbox"/> Wood Burning), (<input type="checkbox"/> Propane Gas), (<input type="checkbox"/> Natural Gas), (<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Other: _____)? Type of fuel for fireplace 2: (<input type="checkbox"/> Wood Burning), (<input type="checkbox"/> Propane Gas), (<input type="checkbox"/> Natural Gas), (<input type="checkbox"/> <input type="checkbox"/> Other: _____)?
			147. Type of fuel for heating stove 1: (<input checked="" type="checkbox"/> Wood Burning), (<input type="checkbox"/> Pellet), (<input type="checkbox"/> Other: _____)? Type of fuel for heating stove 2: (<input type="checkbox"/> Wood Burning), (<input type="checkbox"/> Pellet), (<input type="checkbox"/> Other: _____)?
X	<input checked="" type="checkbox"/>		148. Was the fireplace or heating stove part of the original house design?
X	<input checked="" type="checkbox"/>		149. Was the fireplace or heating stove installed by a professional contractor or manufacturer's representative?
<input checked="" type="checkbox"/>	X		150. Are there any problems? If yes, explain in XVI.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	U	151. When were the flues/chimneys last cleaned, serviced, or repaired? <u> Cleaned </u> . Explain nature of service or repair in XVI.

Page 6 of 9 Property Address: 1003 Weldin Circle

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Seller's Initials MAW Seller's Initials MLW Buyer's Initials _____ Buyer's Initials _____
 Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials _____

XV. MAJOR APPLIANCES AND OTHER ITEMS

<p>Are the following items in working order? Note: The Agreement of Sale will specify and govern what is included or excluded. If an item does not exist, leave the yes/no fields blank.</p>		
YES NO	YES NO	YES NO

<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Range with oven X <input checked="" type="checkbox"/> Range Hood-exhaust fan <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Cooktop-stand alone X <input checked="" type="checkbox"/> Wall Oven(s) # ___ X <input checked="" type="checkbox"/> Kitchen Refrigerator X <input checked="" type="checkbox"/> with icemaker X <input checked="" type="checkbox"/> Refrigerator(s)-additional # ___ X <input checked="" type="checkbox"/> Freezer -free standing <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Ice Maker-free standing X <input checked="" type="checkbox"/> Dishwasher X <input checked="" type="checkbox"/> Disposal X <input checked="" type="checkbox"/> Microwave X <input checked="" type="checkbox"/> Washer X <input checked="" type="checkbox"/> Dryer <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Trash Compactor <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Water Filter X <input checked="" type="checkbox"/> Water Heater X <input checked="" type="checkbox"/> Sump Pump X <input checked="" type="checkbox"/> Storm Windows/Doors X <input checked="" type="checkbox"/> Screens (if present)	X <input type="checkbox"/> <input type="checkbox"/> Draperies/Curtains <input type="checkbox"/> <input type="checkbox"/> Drapery/Curtain rods X <input type="checkbox"/> Shades/Blinds <input type="checkbox"/> <input type="checkbox"/> Cornices/Valances <input type="checkbox"/> <input type="checkbox"/> Furnace Humidifier X <input type="checkbox"/> Smoke Detectors <input type="checkbox"/> <input type="checkbox"/> Carbon Monoxide Detectors X <input type="checkbox"/> Wood Stove X <input type="checkbox"/> Fireplace Equipment X <input type="checkbox"/> Fireplace Screen/Doors <input type="checkbox"/> <input type="checkbox"/> Electronic Air Filter <input type="checkbox"/> <input type="checkbox"/> Window A/C Units # ___ <input type="checkbox"/> Attic fan <input type="checkbox"/> <input checked="" type="checkbox"/> Whole house fan X <input type="checkbox"/> Bathroom Vents/Fans <input checked="" type="checkbox"/> <input type="checkbox"/> Window Fan(s) # ___ <input type="checkbox"/> <input type="checkbox"/> Ceiling Fan(s) # ___ <input type="checkbox"/> <input type="checkbox"/> Central Vacuum <input type="checkbox"/> <input type="checkbox"/> with attachments <input type="checkbox"/> <input type="checkbox"/> Intercoms <input type="checkbox"/> <input type="checkbox"/> Satellite Dish <input type="checkbox"/> <input type="checkbox"/> with controls & Remote(s)	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Wall Mounted Flat Screen TV # ___ <input type="checkbox"/> <input type="checkbox"/> Wall brackets for TV # ___ <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Surround sound system & controls <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Attached Antenna/Rotor X <input type="checkbox"/> Garage Opener(s) # ___ X <input type="checkbox"/> with remote(s) # ___ <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Electronic/Smart Door Locks X <input checked="" type="checkbox"/> Smart Cameras/Doorbells <input type="checkbox"/> <input type="checkbox"/> Smart Thermostat <input type="checkbox"/> <input type="checkbox"/> Pool Equipment <input type="checkbox"/> <input type="checkbox"/> Pool cover <input type="checkbox"/> <input type="checkbox"/> Hot Tub, Equipment <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> with cover <input type="checkbox"/> <input type="checkbox"/> Sheds/Outbuildings # ___ <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Playground Equipment <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Irrigation System <input type="checkbox"/> <input type="checkbox"/> Backup Generator <input type="checkbox"/> <input type="checkbox"/> Water Conditioner (owned) <input type="checkbox"/> <input type="checkbox"/> Water Conditioner (leased) <input type="checkbox"/> <input type="checkbox"/> Fuel Storage Tank(s) (owned) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> Fuel Storage Tank(s) (leased) <input type="checkbox"/> <input checked="" type="checkbox"/> Security/Monitoring Systems (owned) <input type="checkbox"/> <input type="checkbox"/> Security/Monitoring Systems (leased) <input type="checkbox"/> <input checked="" type="checkbox"/> Solar Equipment (owned) <input type="checkbox"/> <input type="checkbox"/> Solar Equipment (leased)
---	---	---

Page 7 of 9 Property Address: ___ 1003 Weldin Circle

--	--	--	--

Seller's Initials MAW Seller's Initials MLW Buyer's Initials _____ Buyer's Initials _____
Seller's Initials _____ Seller's Initials _____ Buyer's Initials _____ Buyer's Initials _____

XVI. ADDITIONAL INFORMATION

If you were directed to this section to clarify an answer, or if you indicated there is a problem with any of the items in sections I through XV, provide an explanation of your recollection using common language. Attach additional sheets if needed.

Question Number	Additional Information
47	Propane tank was removed in the 70s.
61	Bathroom Repair(Powder room and upstairs green bathroom) Water damage State Farm

Are there additional problem, clarification, or document sheets attached? X No Yes.

Number of Sheets Attached .

Page 8 of 9 Property Address: 1003 Weldin Circl

--	--	--	--

Seller's Initials MAW MLW Buyer's Initials Buyer's Initials
 Seller's Initials Seller's Initials Buyer's Initials Buyer's Initials

ACKNOWLEDGMENT OF SELLER

Seller has provided the information contained in this report. This information is, to the best of Seller's knowledge, and belief, complete, true, and accurate. Seller has no knowledge, information, or other reason to believe that any defects or problems with the property have been disclosed to, or discussed with, any Real Estate Agent or Broker involved in the sale of this property, other than those set forth in this report. Seller does hereby indemnify and hold harmless any Real Estate Agent involved in the sale of this property from any liability incurred as a result of any third-party reliance on the disclosures contained herein, or on any subsequent amendment hereto. Seller's Broker and/or Cooperating Broker, if any, is/are hereby authorized to furnish this report to any prospective Buyer. This is a legally binding document. If not understood, an attorney should be consulted.

Har Jones

* SELLER Har Jones Date 2/28/24 SELLER Date 7/22/2024

Har Jones

SELLER Maria S. Wobey Date 7/22/24 SELLER

Date Date the contents of this Report were last updated:

ACKNOWLEDGMENT OF BUYER

Buyer is relying upon the above report, and statements within the Agreement of Sale, as the representation of the condition of the property, and is not relying upon any other information about the property. Buyer has carefully inspected the property and Buyer acknowledges that Agents are not experts at detecting or repairing physical defects in property. Buyer acknowledges Seller has completed this form based upon their knowledge of the

property. Buyer understands there may be areas of the property of which Seller has no knowledge and this report does not encompass those areas. Unless stated otherwise in my contract with Seller, the property is real estate being sold in its present condition, without warranties or guarantees of any kind by Seller or any Agent. Buyer has received and read a signed copy of this report. Buyer may negotiate in the Agreement of Sale for other professional advice and/or inspections of the property. Buyer understands there may be projects either planned or being undertaken by the State, County, or Local Municipality which may affect this property of which the Seller has no knowledge. Buyer further understands that it is Buyer's responsibility to contact the appropriate agencies to determine whether any such projects are planned or underway. If Buyer does not understand the impact of such project(s) on the property being purchased, Buyer should consult with an Attorney. Buyer understands that before signing an Agreement of Sale, Buyer may review the applicable Master Plan or Comprehensive Land Use Plan for the County and/or appropriate City or Town Plans showing planned land uses, zoning, roads, highways, locations, and nature of current or proposed parks and other public facilities. This is a legally binding document. If not understood, an attorney should be consulted.

BUYER _____ Date _____

BUYER _____ Date _____

BUYER _____ Date _____

BUYER _____ Date _____



(302) 994-1098 Office
(302) 290-5530 Dan
(302) 442-0828 Ray

HighlandHS@Verizon.Net

HIGHLAND HOME SERVICES, INC.

220 North Walnut Street

Wilmington, DE 19804

DE Lic# 2008602324

NCC Lic# GC1179

1003 Weldin Circle
Wilmington, DE 19803

August 17, 2024

The foundation was constructed in 1972 with Concrete Masonry Unit (CMU) block. Horizontal cracks and step cracks were evident on the front wall. These types of cracks and movement were caused by stress from Hydrostatic Pressure and reinforcement was recommended per report by Structures Unlimited, LLC dated August 6, 2024. We installed #5 steel rebar and grout inside the cores of the wall at recommended intervals to provide reinforcement. This procedure created fourteen steel and concrete pillars inside the hollow cores of the wall to ensure structural integrity.

All work was completed under New Castle County Permit 202410784, certified upon completion by Structures Unlimited, LLC., and Warranted by Highland Home Services, Inc.

Labor, Materials, Permit, Engineer Certification, Warranty - \$5,300.00

Highland Home Services, Inc. respects our customers' home and exceeds their expectations. We specialize in foundation structural repairs and are an EPA Lead Certified Contractor. All work is completed in a timely and professional manner. We are licensed, insured, and bonded.

Raymond Garrison

Raymond Garrison
HHS, Inc.

S STRUCTURES UNLIMITED, LLC

STRUCTURAL ENGINEERING & FORENSIC INVESTIGATIONS

2207 Concord Pike #297, Wilmington DE 19803

Office / Cell 302.540.7429

Mr. Christian Woolley
1003 Weldin Circle
Wilmington, DE 19803

August 6, 2024

Structural Investigation Report 1003 Weldin Circle Wilmington, Delaware

Introduction: This report will summarize the results of my subject investigation that was performed at the request of your realtor on August 1, 2024. The purpose of the investigation was to assess concerns of cracks in the front foundation wall of the referenced property. An additional concern was raised in regard to a slope in the floor and also cracks on an interior wall. For the record, the two-story house is documented as being built in 1972.

Investigation: The front foundation wall of concern is constructed of 8" hollow concrete masonry units (cmu) up to the underside of floor joists. The 1st floor joist span perpendicular to the foundation wall of concern, this wall is termed 'load bearing'. The exterior face of the house is brick along the front and vinyl siding on the remaining sides with the main wall construction most likely that of 2x6 stud framing. The basement walls extend approximately 7'-9" up from the foundation with approximately all but 8" of that being below finish grade (ground level) along the front.

There is horizontal cracking that has occurred in the front wall. A horizontal crack is occurring along the 4th courses down from the top along the front wall of concern. See photograph #4. The crack is approximately 1/8th of an inch wide. Steps will need to be taken to strengthen and repair this rear foundation wall.

Along the right-side of the front foundation wall is a stair-step vertical crack. The wall appears to have a black waterproof coating. See photograph #1. The stair step crack has connected with a horizontal crack. Some internal re-bar will be required to 'sew' the masonry units together along with strengthening the wall due to horizontal cracking.

The floors have settled since they were first installed. The 2x12s that are viewable in the basement that frame the 1st floor have a lumber stamp. The lumber stamp denotes that the wood is a number #1 grade but was not kiln-dried. The stamp shows a "S-GRN" which means it was green lumber. See photograph #3. Some of the members measured less than 11" tall.

The hardwood floors have rolls and dips. This is common for floors that are framed with green lumber. A corner wall has noticeable separation and has dropped. See photograph #2. I was not able to connect this movement with a structural issue but most likely defined as a chronic crack area.

Problem Assessment: Unfortunately, the basement foundation walls were not initially built to code. The maximum unbalance height of fill against such a foundation wall that was allowed by code and standard practices back when this house was built was 4 feet (and still is). The backfill height in this situation is in the area of 7'-0" or more along the front.

By analysis (see attached), the maximum tensile stress that's developed in the wall under the aforementioned conditions is in the order of 138 pounds per square inch (psi) while the allowable stress for the concrete masonry construction involved is only 23 psi.

As shown in the calculations attached, the wall was initially beyond its limitations and with the additional lateral forces from expansion of the clay in the soil and higher hydrostatic pressure, and weight of the concrete porch slab the wall simply buckled from the force. Provisions will need to be taken to counter act the tendency for the basement wall to further move laterally inward and possibly collapse.

The vertical cracks in the cmu foundation wall are classic signs of differential settlement. These types of cracks are quite common for foundation walls that are situated above expansive clays. Furthermore, foundation walls lose continuity at openings and corners. These areas are more prone to cracking due to the natural shifting that occurs under the footing system. Such crack widths will vary with variations in ground temperature and moisture content; therefore, re-pointing the crack would fill the crack but due to constant movement in the ground the cracks might re-surface. Installing rod and grout into one or two of the cores will halt and 'sew' the cracked courses together.

The house has shrunk and in this case, the floor and wall conditions were exacerbated by the fact that the lumber used in the framing process most likely was "S-GRN" seasoning rating which means that the moisture content in the lumber was more than 19% when installed.

A higher moisture content tends to cause the lumber to shrink under its own weight and even more at load bearing area of the floors and roof. However, most of the shrinkage will occur in the first couple of years of the house and will diminish in later years. Having a joist shrink and the next one over does not is typical and creates a roll or drop along sections of the floor.

Cosmetic elements like brick that are actually a veneer and will not shrink; so, any elements that share the same space with both the wood framing and the non-movable sections will be greatly affected. See the attached article called "Framing Details for Wood Shrinkage". This article will not help what has happened to this date but will only clarify the situation. The wood studs are supported by the floor joists. The house framing settled and the brick veneer is push down and bows outwards. Some areas will see continuous cracking at the same location that is referred to as a 'Chronic Cracking', see attached articles.

Conclusion & Corrective Recommendations: Patching or sealing the crack on the inside face does not provide any resistance to the lateral forces that created the cracking. Ultimately, the horizontally cracked sections of the foundation walls will continue to move in and out during the different seasons due to swelling and contracting of the clayey soils and ultimately the cause the masonry units to fail further.

Currently the mortar bond between layers (courses) of block is broken horizontally and simply the weight of the wall above is pushing down to create dry friction. Once the wall bends inwards sufficiently, there are less of the two surfaces mating and therefore less friction; at that point, the wall will fail. **Installing steel rods and grout inside the cores calculate to be sufficient in strength and will bring the wall of concern up to code.** The following corrective recommendation is offered for your consideration:

Front Foundation Wall Repair:

- Reinforce the front foundation wall per “In-Wall Reinforcement” design attached. Install reinforcement with #5 vertical bars at 32” on center and fill the cmu core solid with grout as delineated in attached approximate layout sketch. See the basement layout sketch for desired locations of the wall reinforcement.

This report does not express or imply any warranty of the building involved but only addresses the conditions of the concerned portions of the house to the extent that these portions were readily accessible and observable.

The recommendations provided above are not intended to include or imply procedures needed to ensure construction phase safety. All construction must be done in compliance with the latest version of the occupational safety and health act (OSHA) requirements and all rules and regulations thereto appurtenant.

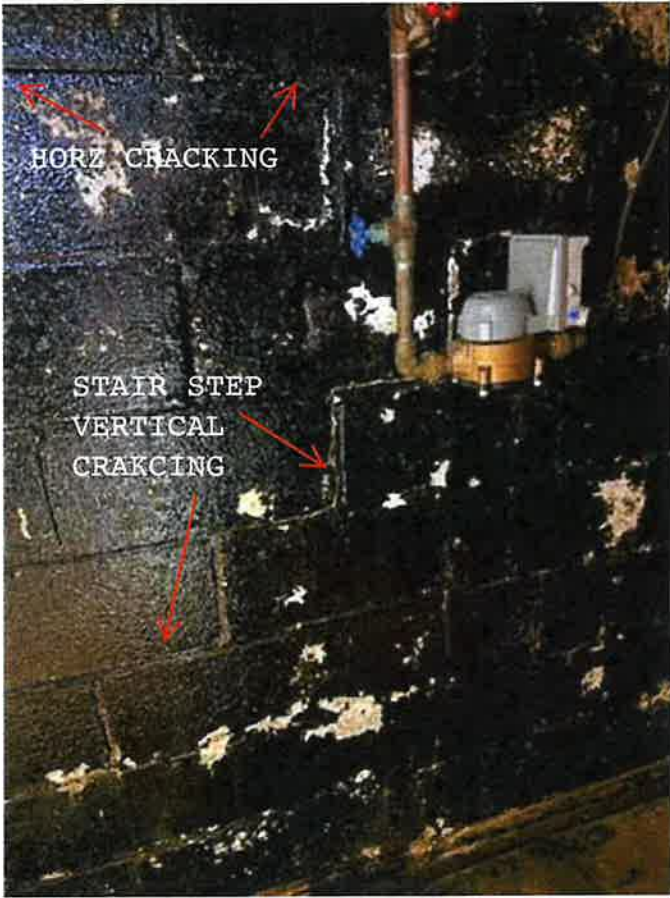
Thank you for considering us for this effort and please call me if there are any questions.

Respectfully Submitted,
Structures Unlimited, LLC

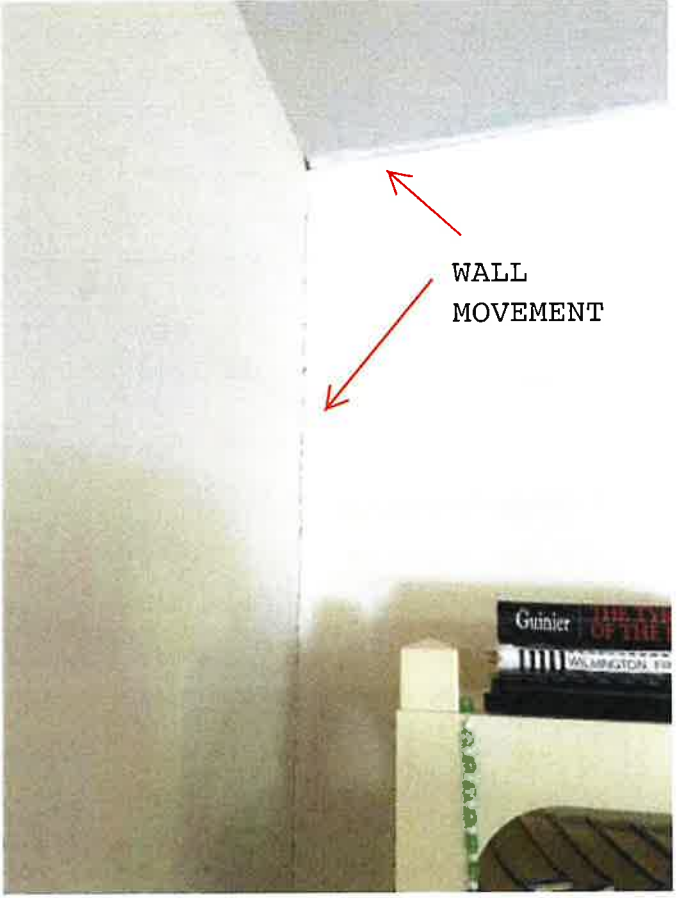


Bjorn M. Haglid, P.E.
Delaware Professional Engineer #12118

1.



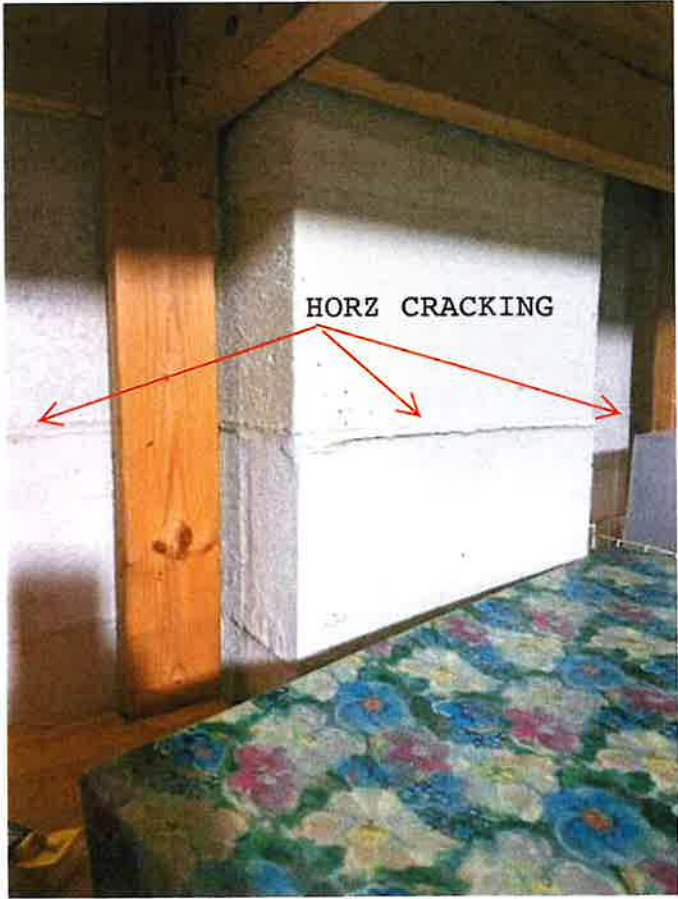
2.



3.



4.



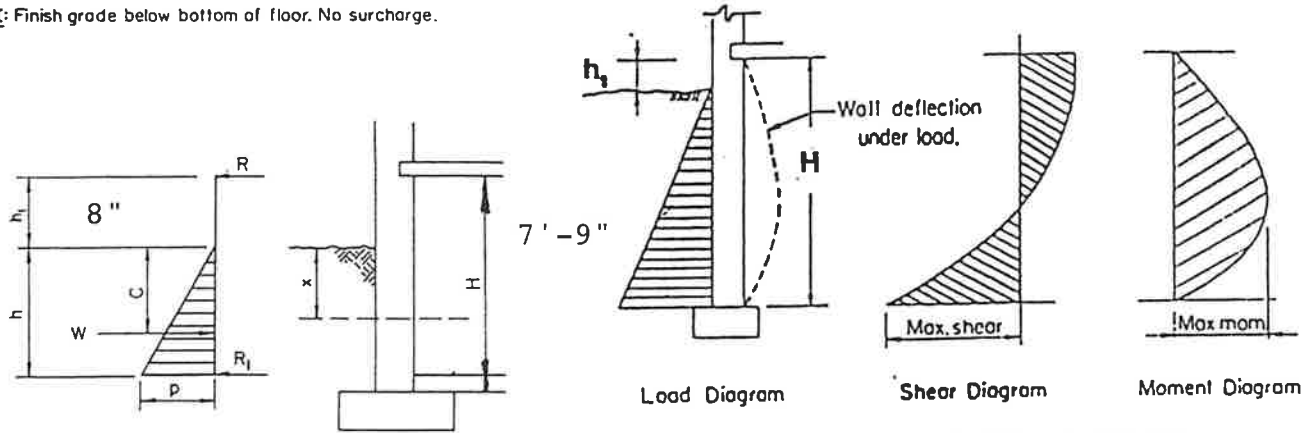
1003 Weldin Circle Photographs

STRUCTURES UNLIMITED, LLC

STRUCTURAL ENGINEERING & FORENSIC INVESTIGATIONS
101 Stone Tower Lane
Wilmington, DE 19803

JOB 1003 Weldin Circle, Wilmington DE
SHEET NO. 1 OF 1
CALCULATED BY Bjorn DATE 8/5/2024
CHECKED BY Bjorn DATE 8/5/2024
SCALE N.T.S.

CASE II: Finish grade below bottom of floor. No surcharge.



WALL SUPPORTED AT TOP AND BOTTOM

$p = w \cdot h$, where w = equivalent fluid weight of soil

$$W = \frac{w h^2}{2} = \frac{p h}{2}; C = \frac{2h}{3}; R = \frac{W h}{3H}; R_1 = W - \frac{W h}{3H}$$

Maximum Shear: $V = R_1 = W - \frac{W h}{3H}$

Point of Maximum Moment: $x = h \sqrt{\frac{h}{3H}}$

Maximum Moment: $M = \frac{W h}{3H} \left[h + \frac{2h}{3} \sqrt{\frac{h}{3H}} \right]$

HOLLOW 2-CORE CMU PHYSICAL DATA (ASTM-C-90)	NOMINAL THICKNESS (IN)	NET AREA (IN ² /FT)	NET VOLUME (IN ³ /FT ³)	WALL WEIGHT (PSF)				FACE SHELL BEDDING	
				80	100	120	140	SECTION MODULUS (IN ⁴ /FT)	MOMENT OF INERTIA (IN ⁸ /FT)
	4	21.6	314	16	22	27	31	21.0	38.0
	6	32.2	388	21	26	31	36	46.3	130.3
	8	41.5	481	28	34	40	47	61.0	308.7
	10	50.4	592	34	42	49	57	117.8	586.7
	12	57.8	674	38	47	56	64	159.9	929.4

ALLOWABLE STRESSES IN NONREINFORCED CONCRETE MASONRY

Description	Allowable Stresses, psi ³	
	Inspected	Not Inspected
Tension in Flexure:		
Normal to bed joints ¹		
Type M or S Mortar,		
Hollow Units	23	11.5
Solid Units	39	19.5
Type N Mortar,		
Hollow Units	16	8
Solid Units	27	13.5
Parallel to bed joints ²		
Type M or S Mortar,		
Hollow Units	46	23
Solid Units	78	39
Type N Mortar,		
Hollow Units	32	16
Solid Units	54	27
Shear		
Type M or S Mortar	34	17
Type N Mortar	23	11.5

¹ Direction of stress is normal to bed joints — vertically in normal masonry construction.

² Direction of stress is parallel to bed joints — horizontally in normal masonry construction.

³ Net mortar bedded area.

$h := 7.08 \text{ ft}$ $h_1 := 0.67$ $H := 7.75$ $w := 40 \text{ pcf}$

$P := h \cdot w$ $P = 283.2 \text{ psf}$

$w := \frac{P \cdot h}{2}$ $w = 1003 \text{ lbs/ft}$

Moment

$M := \frac{(w \cdot h)}{3 \cdot H} \left[h_1 + \frac{(2 \cdot h)}{3} \sqrt{\frac{h}{3 \cdot H}} \right]$ $M = 1000 \text{ ft} \cdot \text{lbs}$

$M_f := M \cdot 12$

Max Tensile Stress

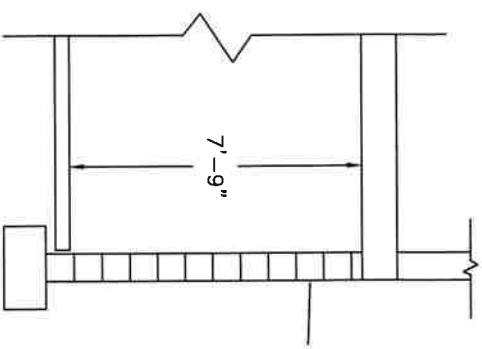
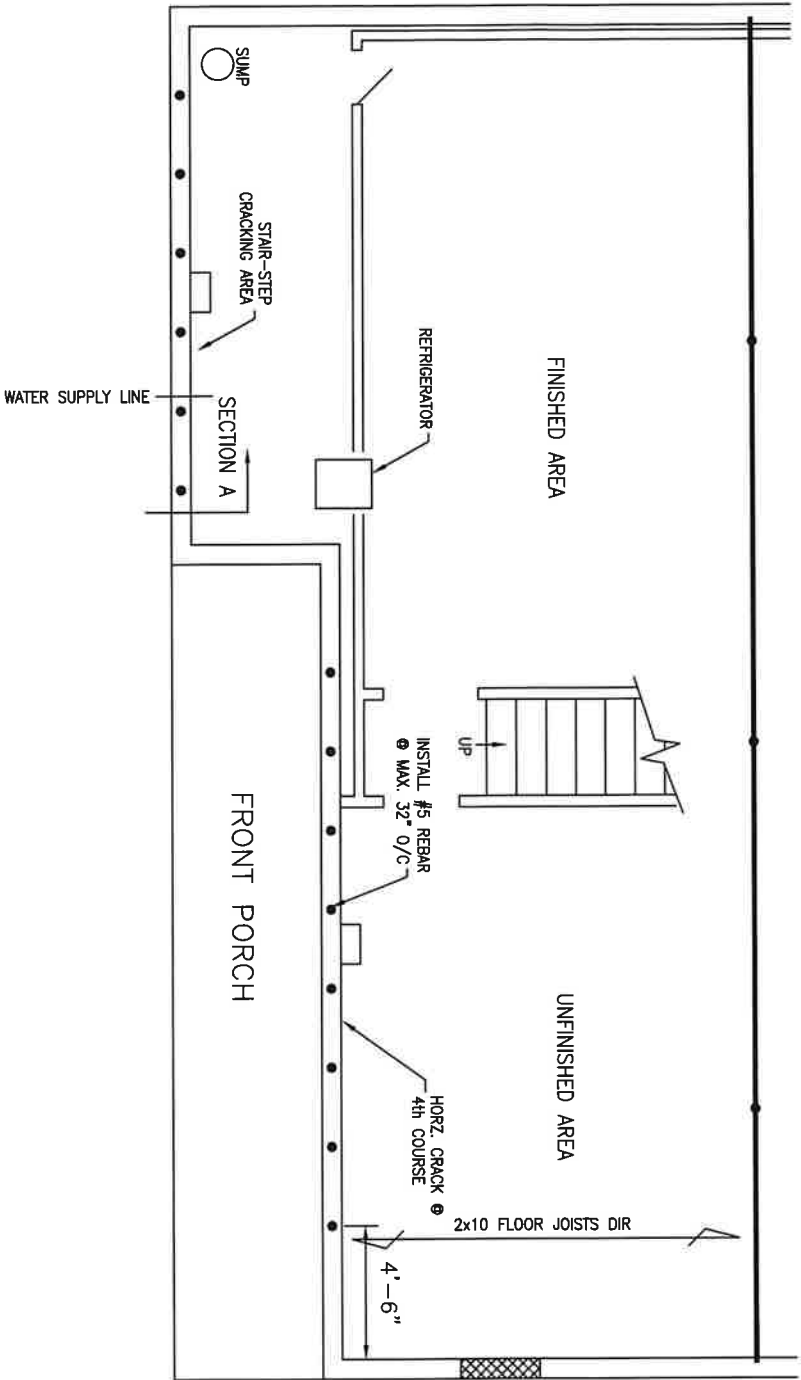
$M_f = 11996 \text{ in} \cdot \text{lbs}$

$F_t := \frac{425}{41.5} - \frac{M_f}{81.0}$ $|F_t| = 138 \text{ psi} < 23 \text{ psi} = \text{no good}$

Necessary reinforcement steel = A_s

$A_s = \frac{M_f}{(f_s \cdot j \cdot d)}$ $A_s := \frac{M_f}{24000 \cdot 0.886 \cdot 5.125}$ $A_s = 0.110 \text{ in}^2/\text{ft}$

Use (1)#5 @ 32" o/c (every fourth course) = 0.115 in²/ft

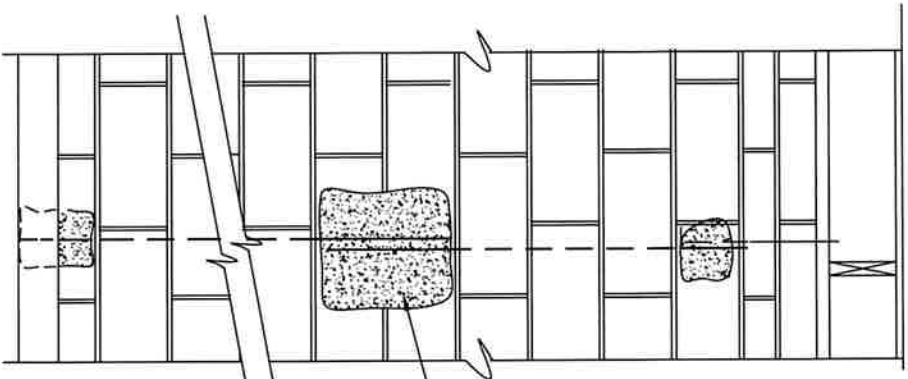
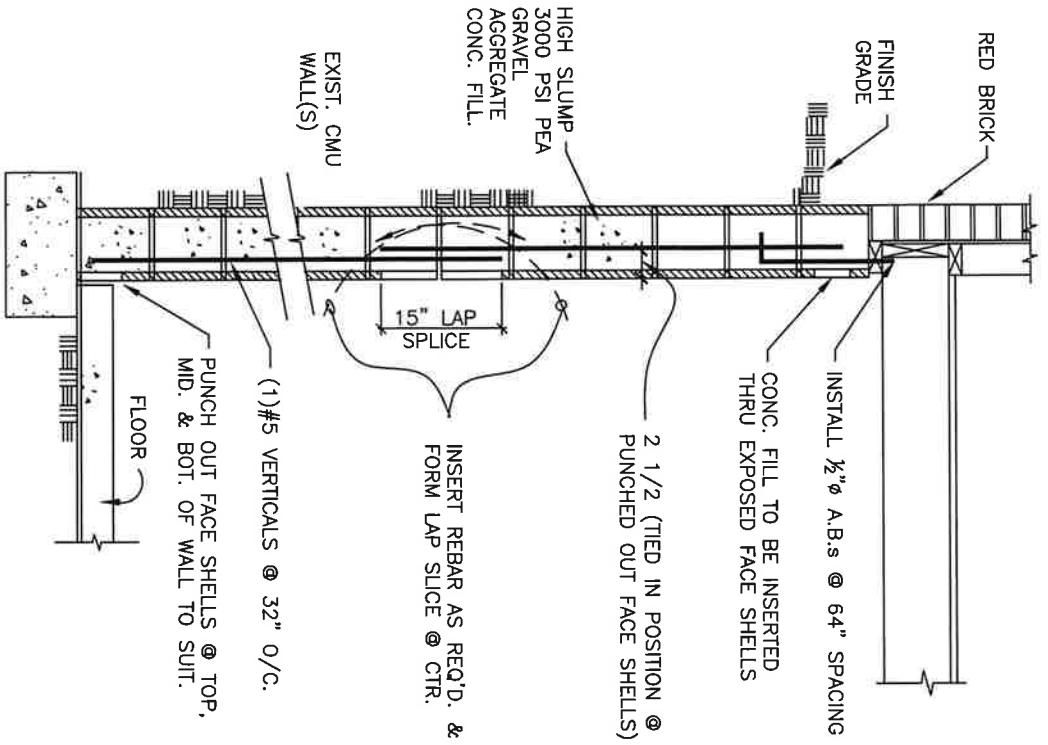


SECTION 'A'

APPROXIMATE FOUNDATION PLAN

STRUCTURES UNLIMITED LLC
 STRUCTURAL ENGINEERS
 2207 Concord Pike #297 - Wilmington, DE 19803
 (302) 540-7429

JOB: 1003 Weidin Circle - Wilmington, DE
 SHEET NO. 1 OF 2
 CALCULATED BY: Bjorn Hoglid P.E. DATE: 8/5/2024
 CHECKED BY: Bjorn Hoglid P.E. DATE: 8/5/2024
 SCALE: 1/4" = 1'-0"



SPECIFICATIONS:

DIVISION 3: CONCRETE WORK:

CONCRETE: CONCRETE FOR FILLING MASONRY CORES SHALL BE PEA GRAVEL AGGREGATE CONCRETE HAVING A 6-INCH SLUMP AND PROPORTIONED TO OBTAIN CERTIFIED 3000 PSI 28 DAY COMPRESSIVE STRENGTH PER ASTM C150.

REBAR: ALL REINFORCING BARS SHALL BE NEW, DEFORMED BILLET STEEL BARS CONFORMING TO ASTM A615, GRADE 60.

SETTING: SETTING OF REBAR TO BE IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS OF ACI 301, " SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."

DIVISION 4: MASONRY

MORTAR: ALL MORTAR SHALL BE TYPE "M" ONLY AND MIXED IN CONFORMANCE WITH ASTM C270.

REPOINTING: FRACTURED MORTAR JOINTS REMAINING AT THE COMPLETION OF ANY NEW CONSTRUCTION SHALL BE CUT OUT AND REPOINTED.

TEMPORARY FORM PUNCH OUTS TO GROUT FULL HEIGHT OF CORES & PARGE FULL FACE OF WALL FOLLOWING THE REPOINTING OF FRACTURED MORTAR JOINTS & SETTING OF CONC. FILL.

TYP. IN-WALL REINF. SECTION

STRUCTURES UNLIMITED LLC

STRUCTURAL ENGINEERS

2207 Concord Pike, #297 - Wilmington, DE 19803
(302) 540-7429

JOB: 1003 Weidin Circle - Wilmington, DE

SHEET NO. 2 OF 2

CALCULATED BY: Bjorn Haglid DATE: 8/5/2024

CHECKED BY: Bjorn Haglid, P.E. DATE: 8/5/2024

SCALE: N.T.S.

Strengthening block basements with cast-in-place concrete

When unreinforced hollow-core block basement walls crack or deflect inward, the usual remedy has been to replace them or to bolster the inside of the wall with heavy steel members. Now, however, a patented engineered system is available to reinforce the hollow cores with cast-in-place concrete and vertical rebars, reportedly mak-

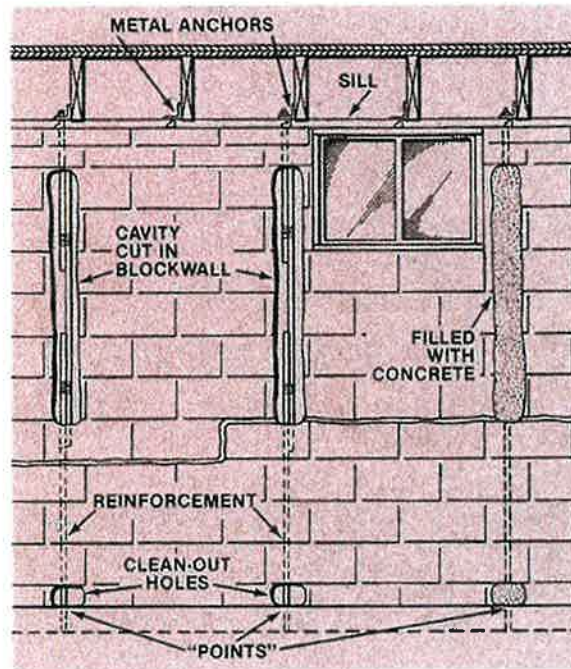


Deflection and cracking such as this in unreinforced concrete block basement walls can now be repaired by a process of placing reinforcement and concrete in the hollow cores of the masonry.

ing the failing block walls stronger than when they were new. The method is said to work for walls up to 5 inches out of plumb. An average residential installation takes 3 to 4 days and is done by a three-man crew inside the basement.

Select points for reinforced columns

The first step is to determine the number of "points" (locations) along the wall where reinforced concrete columns will be installed. Points will be no more than 4 feet



Openings are cut into the cells of distressed block walls, at points no farther than 4 feet apart. After reinforcement has been placed in the cells, 3000-psi concrete is used to complete the column-stiffener for the masonry wall.

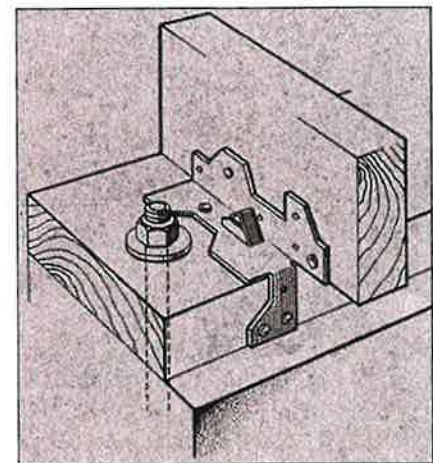
apart. Working in the basement, the crew then makes a 3- to 4-inch-wide opening in the cells of the block at each predetermined point. This opening extends from near the top to mid-height of the wall (see drawing). The cells of the block are then cleaned out down to the footing through a hole made in the wall at the very bottom of each point.

Insert bars at each point

Two reinforcing bars of suitable diameter and grade of steel are inserted at each point. The rods are tied together and extend from the top of the footing to the top of the wall. A threaded rod is then inserted into the top of the cutaway wall opening and run up through a drilled hole in the sill plate where it is fastened with a nut. The bottom half of this threaded rod laps the top reinforcing rod and is tied to it. Next, metal anchors are installed which securely fasten the joists and sill plate together as shown in the drawing.

Concrete placed in open cells

Form boards are then placed over the open cells and 3000 psi concrete is poured into the cells, encasing the reinforcement, until each point is completely full. With the use of water reducing agents, the form boards can be removed early enough so that the surface of the concrete can be leveled and roughened to resem-



Metal anchor is installed to securely tie the floor joist and sill plate together.

ble the texture of adjacent blocks. Joints are tooled into the new concrete to present a continuous joint appearance. Also, the loose mortar remaining in cracked joints is removed and new mortar is applied.

After two days of curing, the exposed portion of the threaded rod is tightened against the top of the sill plate to complete the wall strengthening process. Engineering calculations show that this combination of metal plates, anchoring bolts and reinforced concrete column construction, all tied together, increases strength enough that added fill may be placed outside the basement walls to improve drainage.

Warranty and licensing

Following construction work, each field installation is inspected by a local registered engineer to verify compliance with specifications and local code. Homeowners are given a 5-year conditional warranty against further cracking from lateral movement.

The patented system is now being offered on a license basis to qualified concrete contractors.

Acknowledgement

Information presented here was abstracted from a longer article written by Willard S. Norton, a Kansas City, Missouri engineer who developed the repair method.

PUBLICATION #C830141

Copyright © 1983, The Aberdeen Group
All rights reserved

by David Frane

FRAMING DETAILS FOR WOOD SHRINKAGE



C. BATES

Early in my carpentry career, I was asked to remove all the trim from the third-floor hallway of a 140-year-old house we were renovating. All the baseboards in the hallway were touching the floor, except for one piece, which was 2 inches off the floor. It didn't make sense until I had removed the baseboard in the hallway. While most of the walls consisted of plaster and lath over studs, the wall behind the base that didn't touch the floor was plaster over a brick chimney. When the house was originally built, the air-dried framing lumber dried and shrank, and all of the third floor dropped except for that one piece of baseboard fastened to the chimney.

To avoid wavy floors and binding doors, use quality framing materials and details that allow for lumber shrinkage

Today, most builders frame with kiln-dried stock. But if you think that means you don't have to be concerned about wood shrinkage, think again: Kiln-dried lumber will definitely shrink. How much depends on its moisture content at the time of installation (see "Calculating Shrinkage"). And as the lumber shrinks, it tends to twist and bow, causing humps and nail pops in walls, and bumpy, squeaky, out-of-level floors.

Understanding Wood Shrinkage

Moisture affects wood the same way it affects a sponge. If you take a sopping-wet sponge and wring it out, you'll remove some of the water, though not

Calculating Shrinkage

Because wood shrinks and swells at a predictable rate, it's possible to calculate how much a building, or any part of a building, will shrink as it dries. Let's say we want to find out how much a kiln-dried Hem-Fir 2x12 at 19% MC will shrink if it's dried to 8% MC. We need something called the coefficient for dimensional change — the shrinkage coefficient — which expresses the percentage change in the size of a piece of wood for each percentage change in its MC. Although different wood species have slightly different shrinkage coefficients, an average number for flat-sawn framing lumber is .0025. You can safely use this to calculate the shrinkage for average 2-by stock.

With that in mind we can use the following formula:

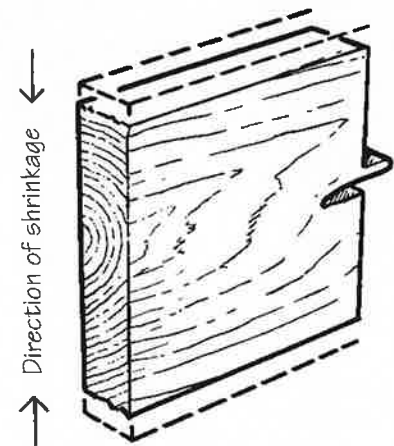
$$\text{Shrinkage (or swelling)} = \text{Width of wood} \times \text{change in MC} \times \text{Shrinkage Coefficient}$$

So a typical 2x12 will shrink about $\frac{5}{16}$ inch as it moves from 19% MC to 8% MC (11.25 inches x (19-8) x .0025). A 2x6 would shrink half as much (see chart, below). The formula can also be used to calculate how much wood swells as MC increases.

Predicted Shrinkage of Dimension Lumber

Lumber Size	Actual Width	Width @ 19% MC (at Delivery)	Width @ 11% MC (Humid Climates)	Width @ 8% MC (Average Climates)	Width @ 6% MC (Arid Climates)
2x4	3 1/2"	3 1/2"	3 7/16"	3 3/8"	3 3/8"
2x6	5 1/2"	5 1/2"	5 3/8"	5 5/16"	5 5/16"
2x8	7 1/4"	7 1/4"	7 1/8"	7 1/16"	7"
2x10	9 1/4"	9 1/4"	9 1/16"	9"	8 15/16"
2x12	11 1/4"	11 1/4"	11"	10 15/16"	10 7/8"

Note: Framing lumber shrinks primarily across its width; shrinkage along the lumber length is insignificant. Actual shrinkage varies depending on the lumber's moisture content when delivered and the area's climate.



enough to change the sponge's size. But if you let the damp sponge dry out, it will shrink. And if you wet the dry sponge, it will swell back up until it reaches the point where it can't absorb any more water and can't get any larger.

In a piece of wood, moisture resides both in the cell cavities and in the cell walls. Green wood is like a sopping-wet sponge: As it dries, the moisture in the cavities is the first to go. But, as with the sponge, this doesn't cause the wood to shrink. The point at which there is moisture in cell walls, but not in cell cavities is called the *fiber saturation point*. Below this level, the wood (like the sponge) will shrink as it dries and swell as it absorbs moisture.

The amount of moisture in a piece of wood is referred to as its *moisture content* (MC). Moisture content is the ratio of the weight of the moisture in a piece of wood to the weight of the piece of wood if all of the moisture were removed.

Because the water in a piece of green wood can easily outweigh the wood fiber, wood can have a moisture content of more than 100%. The fiber saturation point of most wood species is 25% to 30% MC; kiln-dried framing lumber is supposed to have no more than 19% MC. Since this is well below the fiber saturation point, the wood will swell and shrink with changes in moisture content.

Wood stored at a constant humidity eventually reaches a stable MC, called the *equilibrium moisture content*. For most of the U.S., the equilibrium MC of wood that's inside a building is around 8%. In arid climates like Arizona, it's closer to 6%, while in moist climates like Florida, it's closer to 11%. This means that a piece of kiln-dried lumber will lose 8% to 13% MC after installation.

Start With Dry Lumber

Kiln-dried framing lumber is stamped KD or S-DRY (surfaced dry). Lumber

stamped S-GRN (surfaced green) has not been kiln dried. Its MC was higher than 19% at the time it was milled — probably a lot higher. Avoid S-GRN lumber anywhere you're concerned about shrinkage. Also be aware that anything larger than a 4x4 isn't available in KD. The outside of these timbers may be somewhat dry, but assume that the inside is pretty green. When using a large solid beam, like a 6x6 or a 6x10, keep in mind that it will shrink a lot more than a comparable built-up beam made from kiln-dried stock.

You can minimize the effects of moisture swings by ensuring that all your framing lumber has the same MC. This means storing it up off the ground and protecting it from sun and rain with a tarp. It's just as bad to let the joists on top of the lift dry out in the sun as it is to let the bottom ones soak in a puddle. The idea is to make sure that all of the members in a given

Avoiding Cumulative Shrinkage

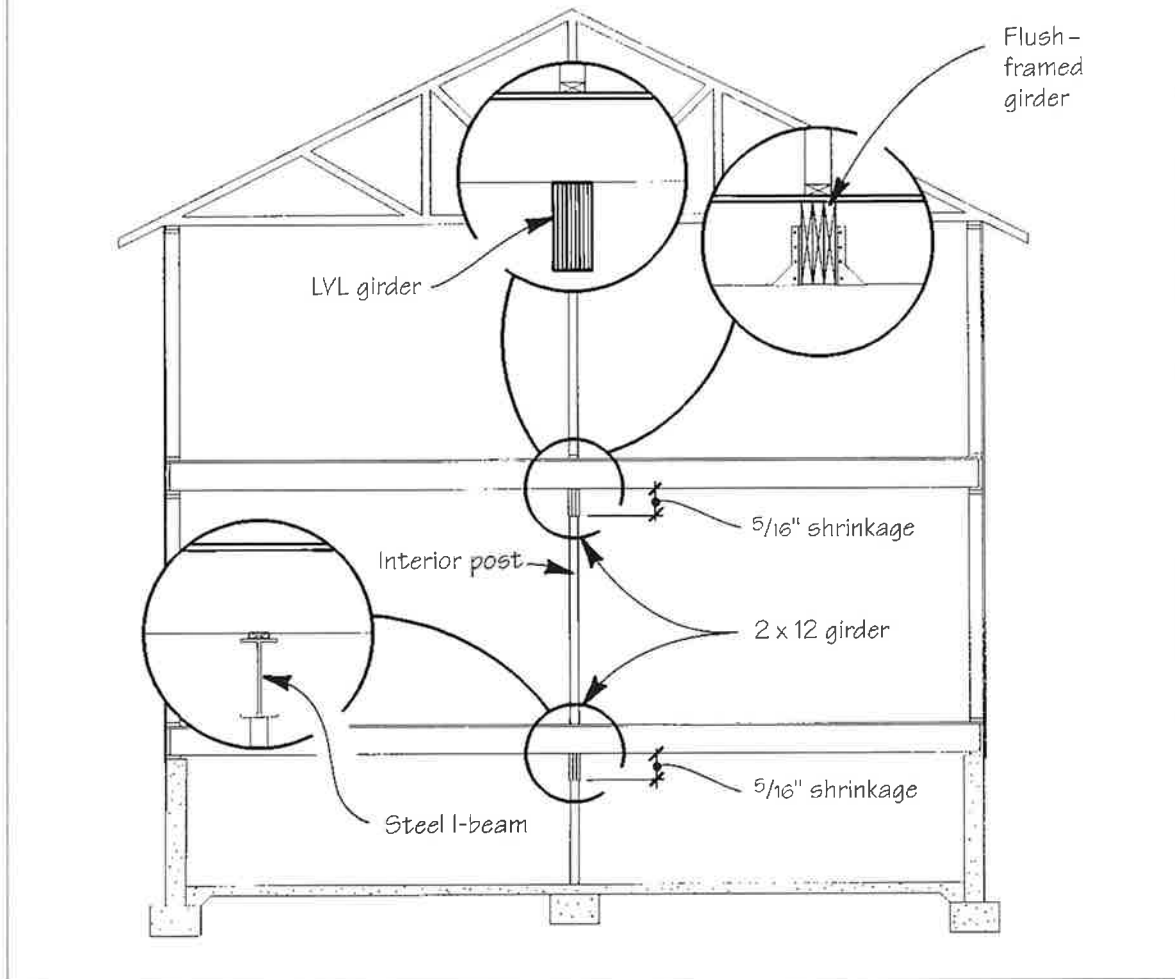


Figure 1. Watch out for situations where wood shrinkage can compound to create noticeable problems. In the house shown here, the two built-up 2x12 girders will cause the center bearing wall to shrink much more than the exterior walls. This will result in a 1/2-inch drop at the second floor level — enough to cause nail pops and cracks in the finishes. Using a steel I-beam in the basement and engineered lumber or flush framing at the second floor will alleviate the problem.

component — all of the joists in a floor, for instance — shrink the same amount.

Dry the Frame

Studs that are straight at 19% MC can do a lot of twisting and bowing as they dry to 8%. The U.S. Forest Products Lab (FPL) recommends that a frame be within 5% of its final moisture content before walls and ceilings are closed in. At the company I work for, we try to dry the frame to 10% or 12% MC before installing drywall or plaster. This gives us a chance to fix or replace any pieces that bow.

In cold weather, drying the frame may require some heat. A few winters back, I used a moisture meter to record how long it took the frame of a house I was working on to dry out. It was cold, but the humidity was low and the house was weathertight. After three weeks, most of the frame was stuck at

15%. We then set up an old gas furnace as a temporary heater. A week and half later, everything had dried to around 10%. Of course, it's not cheap to use heat to dry out a house. But if you're doing a high-end job, it beats coming back later to repair drywall, tile, and trim. And the heat doesn't have to be all that high. The FPL says that you need only keep the inside of the building 10 to 15 degrees warmer than the outside.

Pay Attention to Framing Details

Even if you purchase high-quality framing lumber and protect it after it arrives, you still won't be able to prevent the wood from shrinking altogether. But if you use framing details that allow for the shrinkage, you will avoid most of the problems that can occur when the frame shrinks.

Problems occur when one side of the building has considerably more

headers and plates than the other side, when there's an improper connection to masonry, or when solid lumber is mixed with steel or engineered lumber without compensating for the materials' different shrinkage rates. The symptoms include sloping floors, and lumps and dips in floors and walls. Although this sounds complicated, it's fairly easy to design a frame that will shrink evenly.

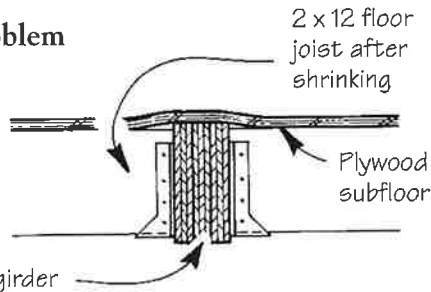
Avoid Lopsided Shrinkage

It's important to recognize situations when a structure will shrink unevenly. Look at the example in Figure 1. Here, the first-floor joists are supported by a built-up 2x12 girder. The upstairs features an open floor plan, with the second-floor joists also resting on a 2x12 girder.

The problem with this configuration is that the two girders may shrink as much as 5/16 inch each as the lumber

Flush-Framed Floor Joists

Problem



Solution

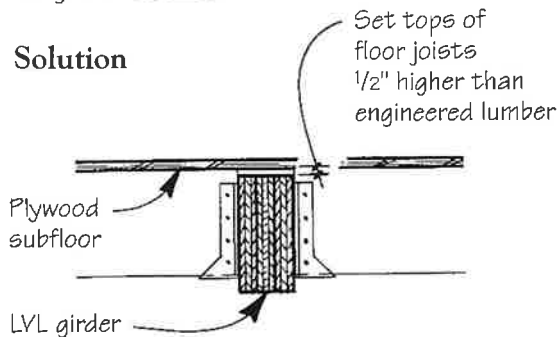


Figure 2. Floor joists laid flush with the top of engineered or steel beams will create a bump in the floor when they shrink (top drawing, left). In these situations, install the joists $\frac{1}{2}$ inch high to accommodate the anticipated shrinkage (bottom drawing, left). Where I-joists meet an engineered lumber beam (above), you can install them flush since shrinkage is not an issue with I-joists.

dries from 19% moisture content to 8%. This is much more than the shrinkage that would occur in the exterior walls. The first-story ceiling and the second-story floor will then drop by $\frac{1}{2}$ inch or more, wreaking havoc with the drywall finish and possibly leaving noticeable dips in the floor.

The solution is to use girder material that doesn't shrink — either steel or LVL — or to flush-frame the girders.

Whenever you're flush-framing a floor system where solid wood joists meet an

engineered lumber or steel beam, don't set the tops of the joists exactly even with the top of the beam (Figure 2). Otherwise, when the joists shrink, they'll leave a bump in the floor. When I'm faced with this situation, I drop the beam approximately $\frac{1}{2}$ inch in relation to the joists, so the joists can shrink without the top of the beam contacting the subfloor.

Foundation Details

Some designs call for the first-floor joists to bear on an interior foundation

ledge, as in Figure 3. The problem here is that when the joists shrink, the ends pull away from the subfloor, leaving a slope at the exterior wall. I once installed a refrigerator in a kitchen that was framed this way; the floor sloped so badly that I couldn't level the refrigerator with the leveling feet.

A better detail is to keep the subfloor off of the sill plate. When the floor joists shrink, the subfloor will move with them. When installing a wood floor, you can prevent a gap from opening beneath the baseboard by installing the flooring after the baseboard and using a shoe mold that's attached to the floor.

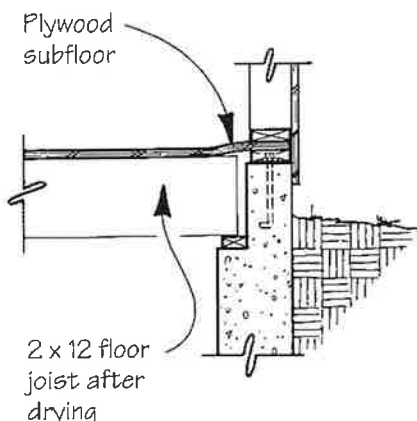
Where Wood Meets Masonry

If the framing isn't dry when a concrete hearth is poured, the framing will shrink so that the hardwood floor surface ends up slightly below the hearth. Because hearths are usually set late in the job, after the framing has had time to dry, this is seldom a problem. But if the hearth is set earlier — or if cold weather prevents the frame from drying — you should anticipate shrinkage and set the hearth a bit lower. ■

David Frane, of Wakefield, Mass., is a contributing editor to the *Journal of Light Construction* and an associate editor with *Tools of the Trade*.

Sloping Subfloor

Problem



Solution

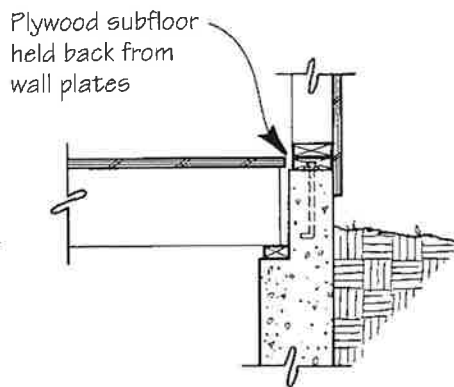
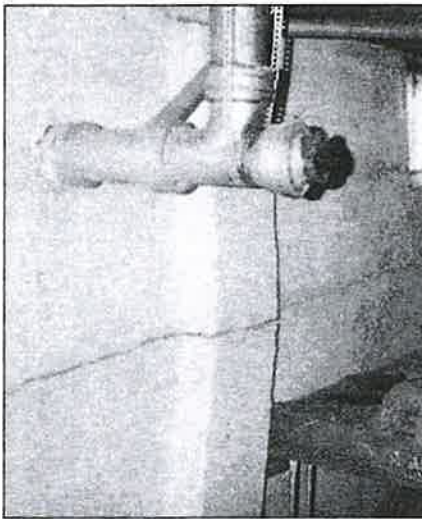


Figure 3. Subflooring that is installed underneath the exterior wall framing (left) will cause a slope as the floor joists shrink. Where floor joists bear on a foundation ledge, the subflooring should stop short of the exterior wall (right). This allows the subfloor to move with the joists as they shrink.

Strengthening block basements with cast-in-place concrete

When unreinforced hollow-core block basement walls crack or deflect inward, the usual remedy has been to replace them or to bolster the inside of the wall with heavy steel members. Now, however, a patented engineered system is available to reinforce the hollow cores with cast-in-place concrete and vertical rebar, reportedly mak-

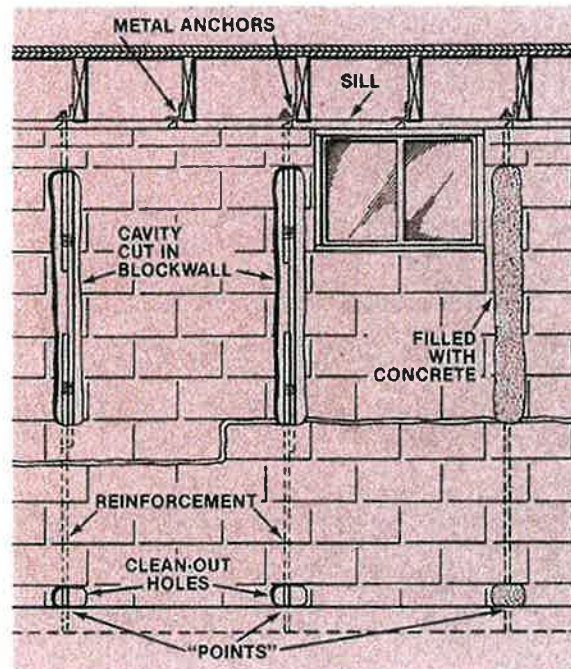


Deflection and cracking such as this in unreinforced concrete block basement walls can now be repaired by a process of placing reinforcement and concrete in the hollow cores of the masonry.

ing the failing block walls stronger than when they were new. The method is said to work for walls up to 5 inches out of plumb. An average residential installation takes 3 to 4 days and is done by a three-man crew inside the basement.

Select points for reinforced columns

The first step is to determine the number of "points" (locations) along the wall where reinforced concrete columns will be installed. Points will be no more than 4 feet



Openings are cut into the cells of distressed block walls, at points no farther than 4 feet apart. After reinforcement has been placed in the cells, 3000-psi concrete is used to complete the column-stiffener for the masonry wall.

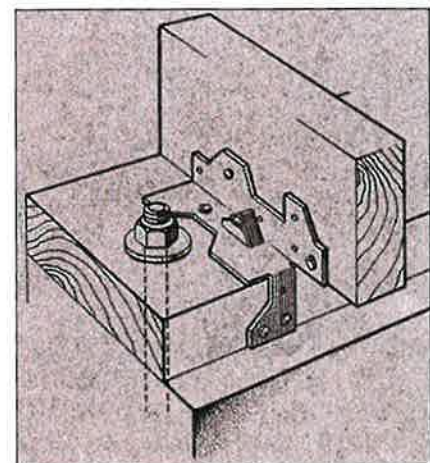
apart. Working in the basement, the crew then makes a 3- to 4-inch-wide opening in the cells of the block at each predetermined point. This opening extends from near the top to mid-height of the wall (see drawing). The cells of the block are then cleaned out down to the footing through a hole made in the wall at the very bottom of each point.

Insert bars at each point

Two reinforcing bars of suitable diameter and grade of steel are inserted at each point. The rods are tied together and extend from the top of the footing to the top of the wall. A threaded rod is then inserted into the top of the cutaway wall opening and run up through a drilled hole in the sill plate where it is fastened with a nut. The bottom half of this threaded rod laps the top reinforcing rod and is tied to it. Next, metal anchors are installed which securely fasten the joists and sill plate together as shown in the drawing.

Concrete placed in open cells

Form boards are then placed over the open cells and 3000 psi concrete is poured into the cells, encasing the reinforcement, until each point is completely full. With the use of water reducing agents, the form boards can be removed early enough so that the surface of the concrete can be leveled and roughened to resem-



Metal anchor is installed to securely tie the floor joist and sill plate together.

ble the texture of adjacent blocks. Joints are tooled into the new concrete to present a continuous joint appearance. Also, the loose mortar remaining in cracked joints is removed and new mortar is applied.

After two days of curing, the exposed portion of the threaded rod is tightened against the top of the sill plate to complete the wall strengthening process. Engineering calculations show that this combination of metal plates, anchoring bolts and reinforced concrete column construction, all tied together, increases strength enough that added fill may be placed outside the basement walls to improve drainage.

Warranty and licensing

Following construction work, each field installation is inspected by a local registered engineer to verify compliance with specifications and local code. Homeowners are given a 5-year conditional warranty against further cracking from lateral movement.

The patented system is now being offered on a license basis to qualified concrete contractors.

Acknowledgement

Information presented here was abstracted from a longer article written by Willard S. Norton, a Kansas City, Missouri engineer who developed the repair method.

PUBLICATION #C830141

Copyright © 1983, The Aberdeen Group
All rights reserved

LIMITED LIABILITY WARRANTY

Your foundation has been reinforced by Highland Home Services, Inc. All work was completed under a New Castle County Permit and Certified by a Professional Engineer. We warrant that the portion of the foundation that was reinforced by us will not experience any significant movement that will result in failure of the foundation to structurally support the home. This warranty is limited to a period of ten years and liability is limited to the original cost of labor and materials. Poor maintenance, operation of heavy equipment near the foundation, and other types of neglect can lead to foundation compromise. With proper care, maintenance of gutters, downspouts, and rainwater runoff, your foundation should support your home for a lifetime. We are available to you for consult at any time if you have questions, concerns, or need advice about your foundation. We appreciate you trusting your repair to Highland Home Services, Inc.

Daniel A. Burroughs

Daniel A. Burroughs
President, HHS, Inc.

Property Address: 1003 Weldin Circle
Date: August 17, 2024
Coverage: \$4,950.00

Highland Home Services, Inc.
220 North Walnut Street
Wilmington, DE 19804
302-994-1098

Disclosure of Information on Lead-Based Paint and Lead-Based Paint Hazards
Sale of Residential Property

Property: 1003 Weldin Circle, Wilmington, DE 19803

Marc A and Mavis L Woolley
Seller's Name:

Seller Instructions: Check the box indicating the age of your property and initial. If you checked either box 1 or 3, continue to complete the *Seller's Disclosure* section below and sign this form at the bottom. If you checked box 2, sign below to complete this form.

17 + 11/24
(Check one of the boxes to the right and initial here)

Year Dwelling Was Constructed:

- 1. was constructed prior to January 1, 1978
- 2. was constructed after January 1, 1978
- 3. uncertain as to when constructed

Lead Warning Statement - Every Purchaser of any interest in residential property on which a residential dwelling was built prior to 1978 is notified that such property may present exposure to lead from lead-based paint that may place young children at risk of developing lead poisoning. Lead poisoning in very young children may produce permanent neurological damage, including learning disabilities, reduced intelligence quotient, behavioral problems, and impaired memory. Lead poisoning also poses a particular risk to pregnant women. The Seller of any interest in residential real property is required to provide the Purchaser with any information on lead-based paint hazards from risk assessments or inspections in the Seller's possession and notify the Purchaser of any known lead-based paint hazards. A risk assessment or inspection for possible lead-based paint hazards is recommended prior to purchase.

Seller's Disclosure - Unless box 2 is checked above, each Seller is required to complete sections (a and b) by selecting an answer and then by initialing in each of these two sections (if more than one owner, all owners must select and initial)

(a) Presence of lead-based paint and/or lead-based paint hazards (CHECK ONE BOX BELOW AND INITIAL):

17
Select answer and initial

Known lead-based paint and/or lead-based paint hazards are present in the housing. (explain)

Seller has no knowledge of lead-based paint and/or lead-based paint hazards in the housing.

(b) Records and reports available to the Seller. (CHECK ONE BOX AND INITIAL):

17
Select answer and initial

Seller has provided the Purchaser with all available records and reports pertaining to lead-based paint and/or lead-based paint hazards in the housing. (list documents below):

Seller has no reports or records pertaining to lead-based paint and/or lead-based paint hazards in the housing.

Purchaser's Acknowledgement - Unless box 2 is checked above, all purchaser(s) must initial c, d, e and f

- (c) _____ Purchaser(s) has read the Lead Warning Statement above.
- (d) _____ Purchaser(s) has received copies of all information listed above.
- (e) _____ Purchaser(s) has received the pamphlet *Protect Your Family From Lead In Your Home*.
- (f) _____ Purchaser(s) has (check one below):

Received a 10-day opportunity (or mutually agreed upon period) to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards.

Waived the opportunity to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards.

Agent's Acknowledgement - Initial below

(g) 17 The Listing Agent has informed the Seller of the Seller's obligation under 42 U.S.C. 4852(d), and the Seller is aware of his/her responsibility to ensure compliance.

Certification of Accuracy - The following parties have reviewed the information above and certify, to the best of their knowledge, that the information provided by the signatory is true and accurate.

Marc A Woolley Seller 7/2/24 Date

Mavis L Woolley Seller 7/2/24 Date

Purchaser Date
Melvin Spencer Agent 7/2/24 Date

Purchaser Date

Agent Date

SCHOOL FEEDER PATTERN

Brandywine School District 2024/2025 School Year

Lombardy Elementary School
Grades: KN-05
Address: 412 Foulk Road
City: Wilmington
Zip Code: 19803

Springer Middle School
Grades: 06-08
Address: 2220 Shipley Road
City: Wilmington
Zip Code: 19803

Brandywine High School
Grades: 09-12
Address: 1400 Foulk Road
City: Wilmington
Zip Code: 19803